



Greenville - Bldg. 602 Demolition

State Project Number - H59- 6124-CA-B

225 South Pleasantburg Drive
Greenville, SC 29607

BID SET FOR CONSTRUCTION

Seal



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Project



Greenville Technical College
Greenville - Demolition of
Bldg. 602

State Project # H59-6124-CA-B
Project Number 15288
Drawn By LCA
Checked By JMT
Date 12 Dec 2016

Revisions

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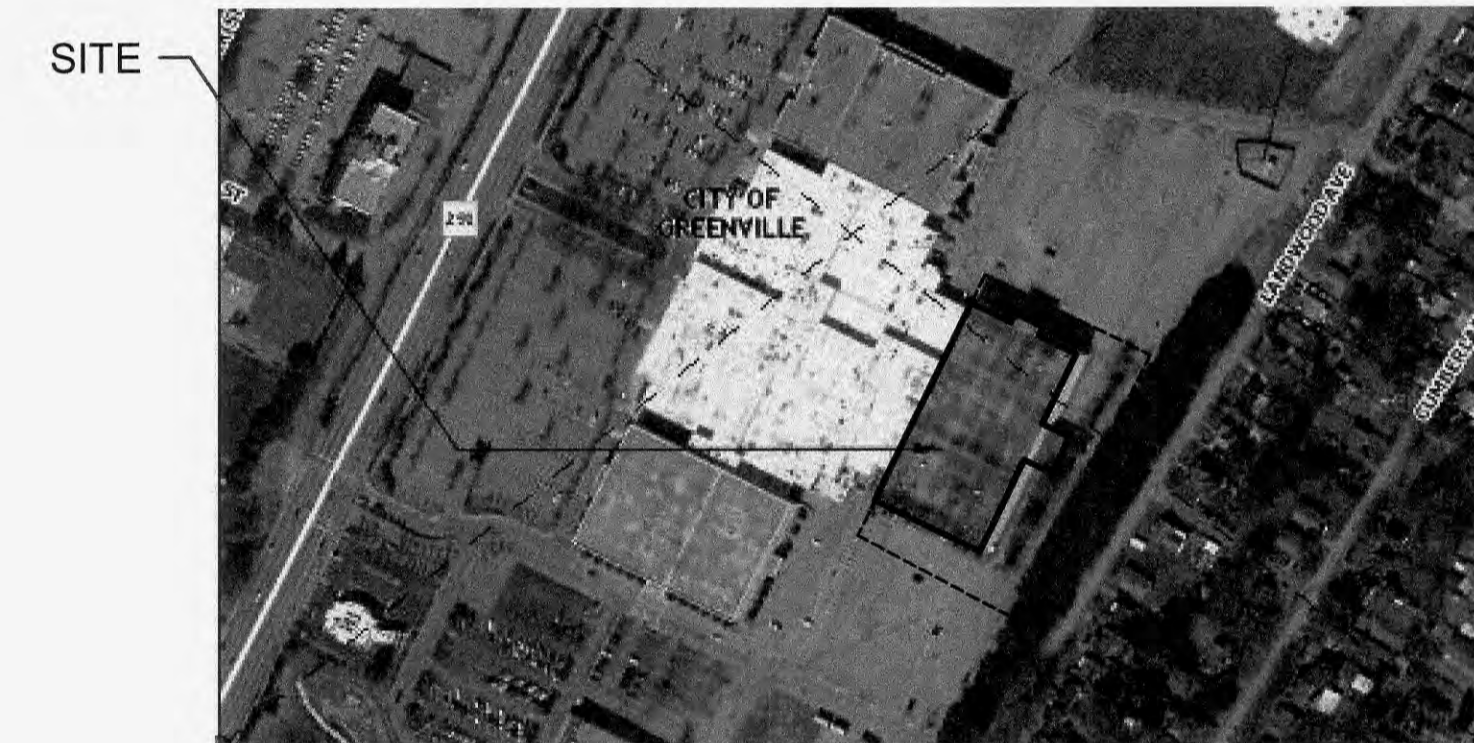
GENERAL PROJECT NOTES

- A THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- B THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CRONTACTORS.
- C SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK, ARCHITECTURAL, STRUCTURAL, PLUMBING AND HVAC.
- D BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME.
- E IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- F THE ARCHITECT SHALL BE AVAILABLE TO VISIT THE SITE WHEN REQUESTED. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR STRUCTURAL ENGINEER, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- G CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, CONTRACTOR SHALL NOTIFY ARCHITECT.
- H THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY AND TEMPORARY SHORING. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- I CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
- J CONTRACTOR SHALL PAY ALL TAXES, SECURE ALL PERMITS AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO BUILDING PERMITS, WATER, ELECTRIC AND TELEPHONE SERVICE CONNECTION IMPACT FEES, CERTIFICATE OF OCCUPANCY, AND INSPECTIONS.
- K INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR. REFER TO THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- L GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- M PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.
- N ANY REFERENCE TO PROJECT H59-N792-CA ASBESTOS AND HAZARDOUS MATERIALS ABATEMENT OR COORDINATE RELATED WORK BETWEEN THESE TWO PROJECTS IS NOT IN THE SCOPE OF WORK FOR THIS PROJECT. ABATEMENT PROJECT HAS BEEN COMPLETED.
- O THE INFORMATION DEPICTED AS THE EXISTING CONDITIONS IS BASED ON ORIGINAL DRAWINGS, DP3 ARCHITECTS, THE OWNER AND THE OWNER'S CONSULTANTS TAKE NO LIABILITY IN THE ACCURACY OF THE ORIGINAL DOCUMENTS AND THE ACTUAL FIELD CONDITIONS.
- P THE OWNER WILL HIRE A SEPARATE CONTRACTOR TO TIE IN THE EXISTING FIRE PROTECTION LINE INTO THE MALL. THE SCOPE OF THIS WORK DOES NOT INCLUDE FIRE PROTECTION SYSTEMS.

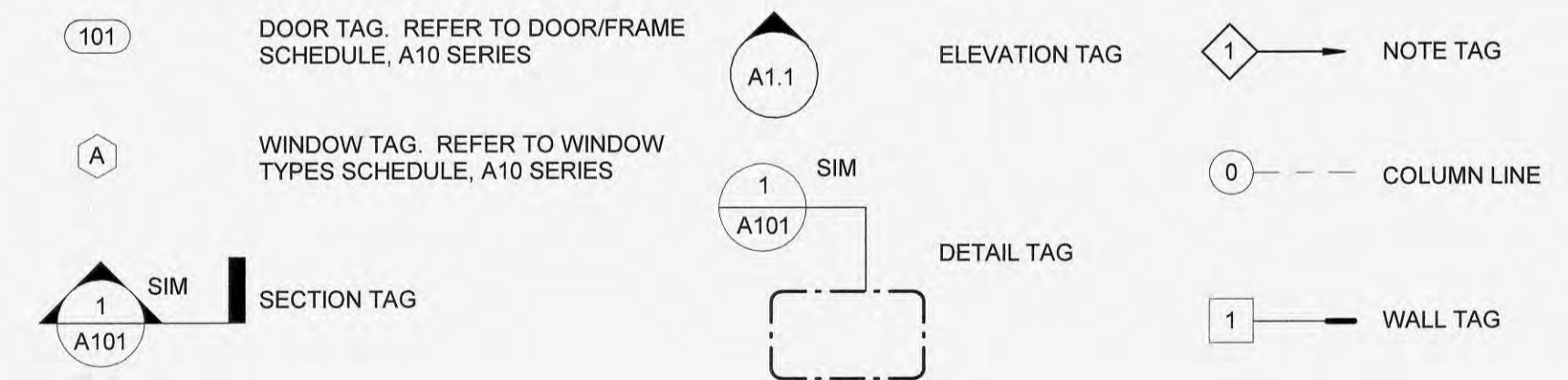
COORDINATION NOTE

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT AND ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

VICINITY MAP



DRAWING SYMBOL LEGEND



PROJECT DESIGNED IN ACCORDANCE WITH:

INTERNATIONAL BUILDING CODE:	2015 EDITION
INTERNATIONAL MECHANICAL CODE:	2015 EDITION
INTERNATIONAL PLUMBING CODE:	2015 EDITION
INTERNATIONAL FIRE CODE:	2015 EDITION
NATIONAL ELECTRICAL CODE (NEC), NFPA 70:	2014 EDITION
NFPA LIFE SAFETY CODE 101:	2012 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE:	2009 EDITION
SC BARRIER FREE BUILDING DESIGN STANDARD W/ ANSI-A117.1:	2017 EDITION

DESIGN AND ENGINEERING TEAM

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Drawing

Cover Sheet

T1.1

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GREENVILLE TECHNICAL COLLEGE BUILDING 602 DEMOLITION

GREENVILLE, SOUTH CAROLINA



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State Project # H59-6124-CA-B
Project Number GR2498
Drawn By CC
Checked By JB
Date 12/07/16

Revisions

Drawing
COVER SHEET

C1

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SHEET INDEX

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C2 - NOTES AND LEGEND
C3 - EXISTING CONDITIONS AND DEMOLITION PLAN
C4 - EROSION AND SEDIMENT CONTROL PLAN
C5 - SITE, GRADING AND DRAINAGE PLAN
C6 - SITE DETAILS

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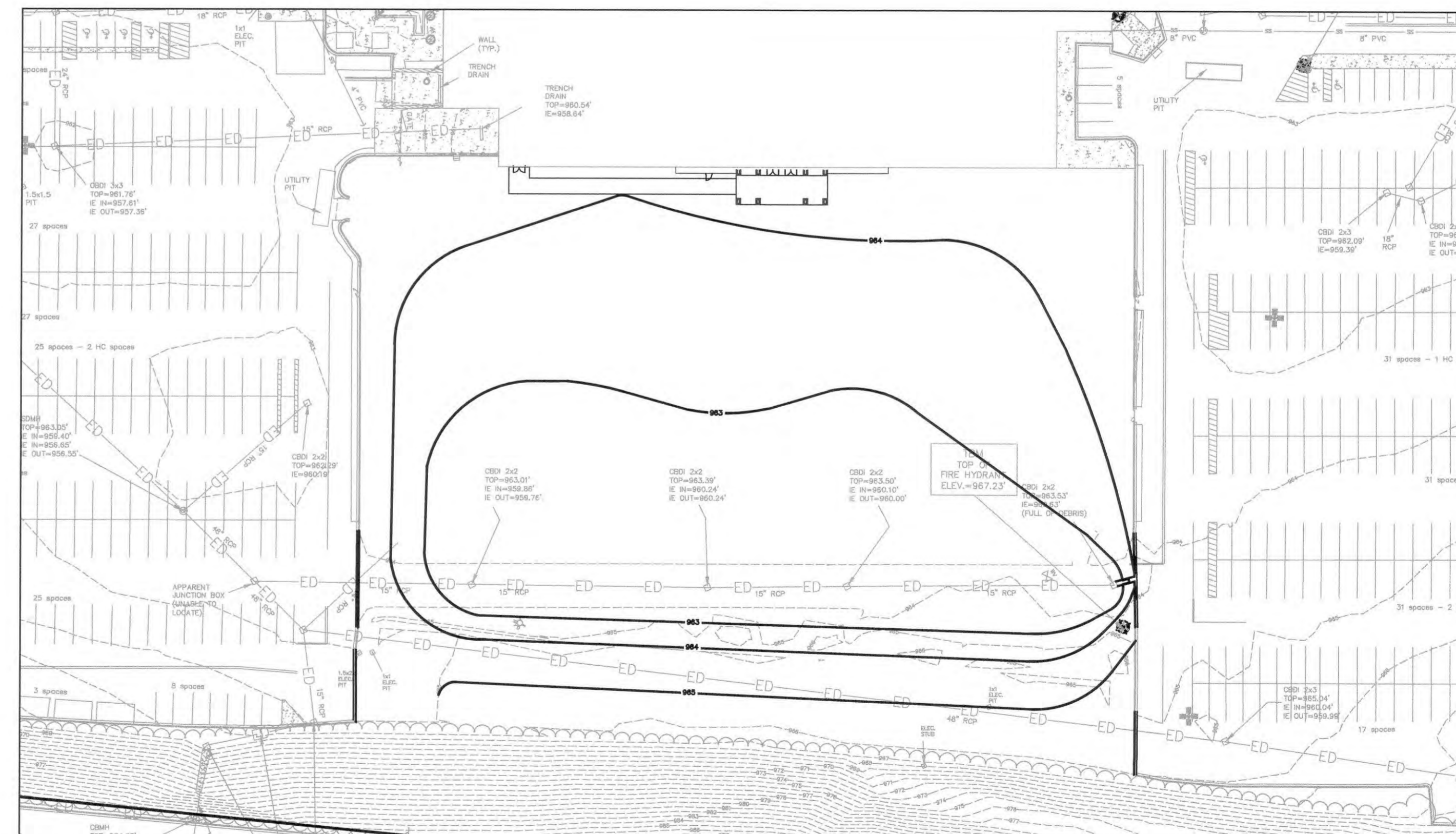
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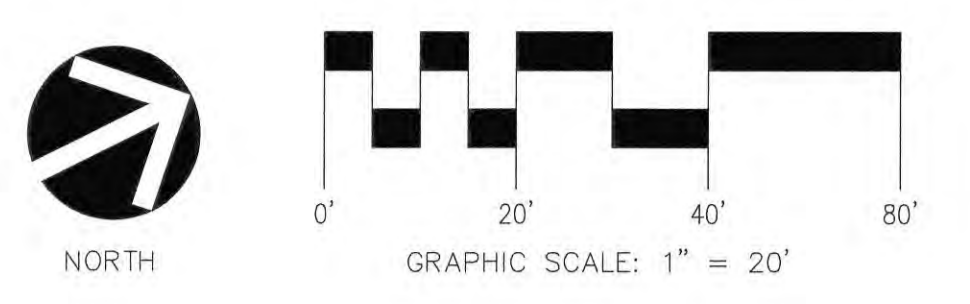
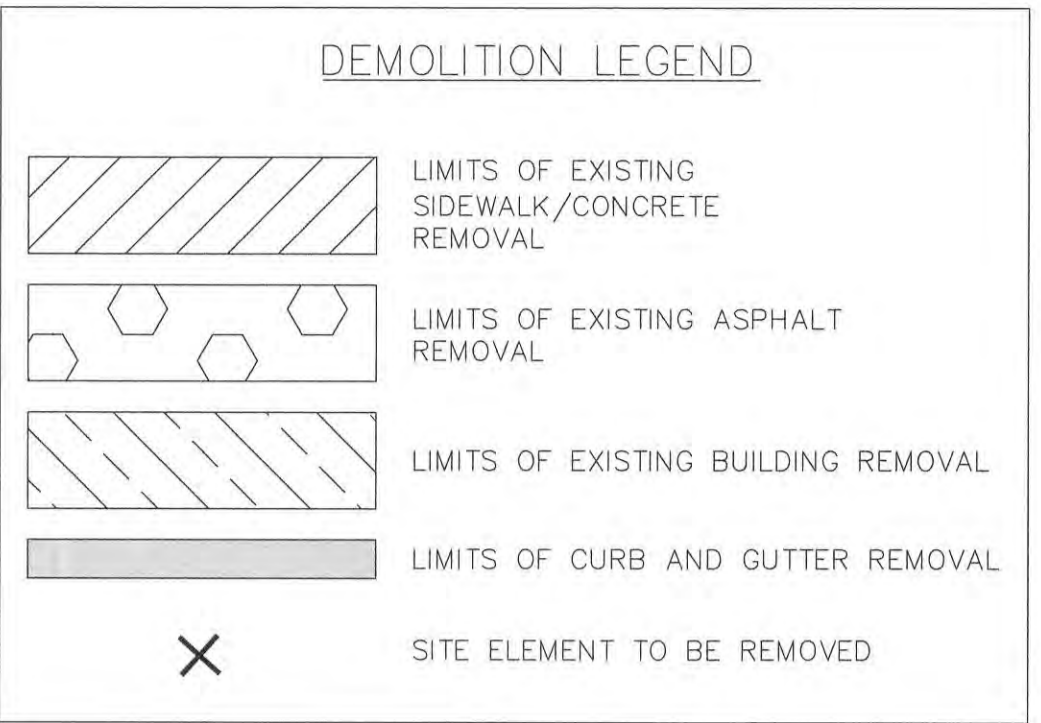
LOCATION MAP
SCALE: NTS



SITE OVERVIEW
SCALE 1" = 100'



- DEMOLITION NOTES:**
- TREES SHOWN TO BE PROTECTED ON THIS SHEET HAVE BEEN REMOVED. REFER TO SHEET L1 FOR TREE MITIGATION PLAN.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF DAMAGED ITEMS NOT TO BE DEMOLISHED DURING CONSTRUCTION ACTIVITIES.
 - CONTRACTOR IS TO DEMOLISH AND REMOVE EXISTING ASPHALT, CONCRETE, UTILITY INFRASTRUCTURE, VEGETATION, FENCING, STORM WATER INFRASTRUCTURE, AND RETAINING WALLS WITHIN THE LIMITS OF DISTURBANCE.
 - DO NOT DISTURB EXISTING UTILITIES TO REMAIN IN SERVICE. CONTRACTOR IS TO COORDINATE UTILITY INFRASTRUCTURE DEMOLITION ACTIVITIES WITH UTILITY PROVIDER PRIOR TO COMPLETING THE WORK.
 - ALL DEMOLITION DEBRIS IS TO BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
 - NO DEMOLITION ACTIVITIES ARE TO BE COMPLETED UNTIL PERIMETER EROSION CONTROLS ARE IN PLACE AS INDICATED ON THE CONSTRUCTION PLANS. REFERENCE THE SEQUENCE OF CONSTRUCTION INCLUDED ON SHEET C4 - EROSION AND SEDIMENT CONTROL PLAN.



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Project

**Greenville-
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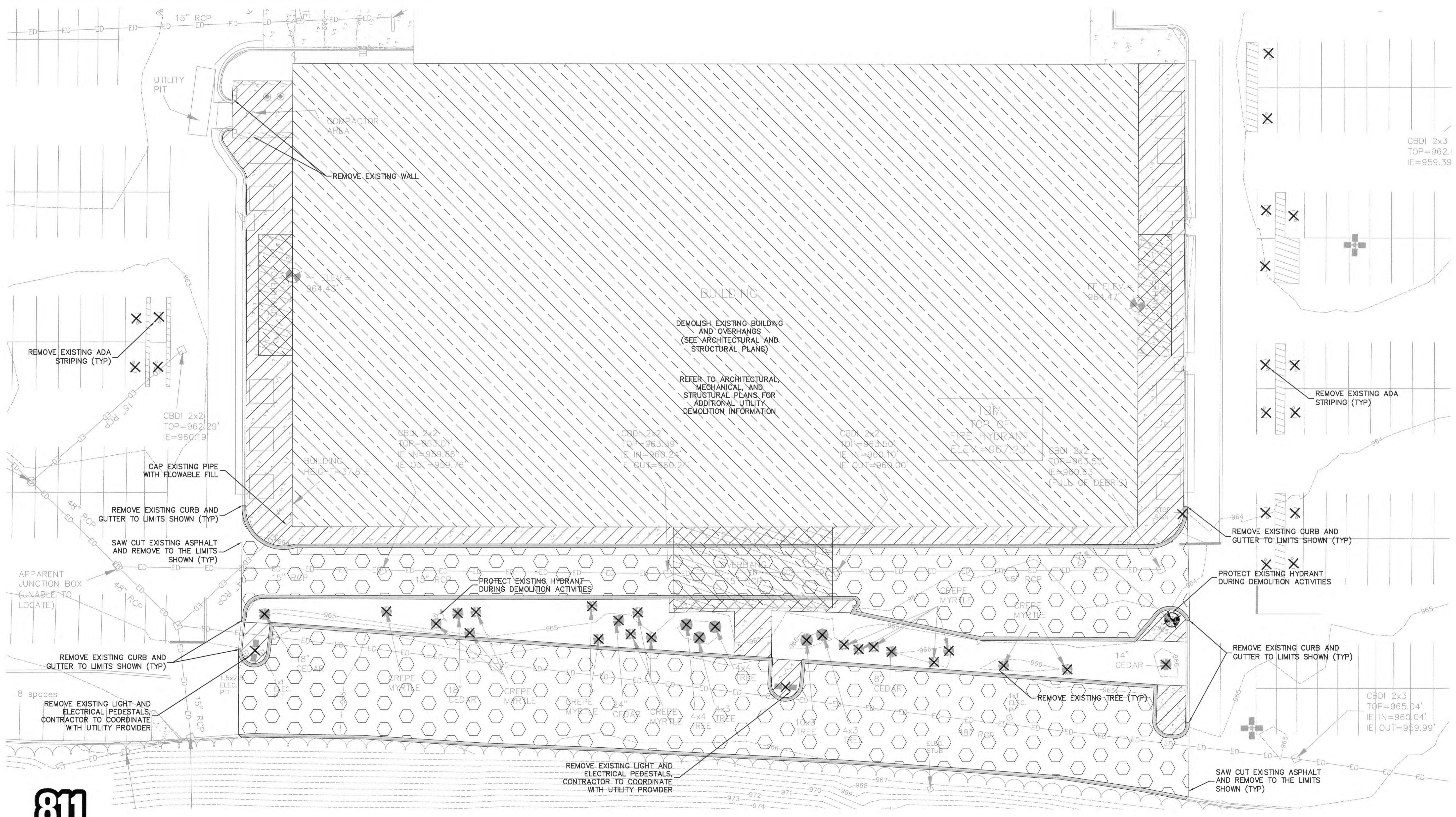
State Project # **H59-6124-CA-B**
 Project Number **GR2498**
 Drawn By **CC**
 Checked By **JB**
 Date **12/07/16**

Revisions

Drawing
**EXISTING CONDITIONS
 AND DEMOLITION
 PLAN**

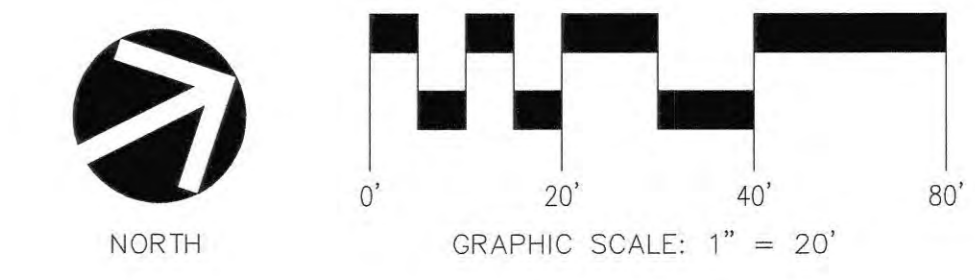
C3

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FOR NOTES AND LEGEND
 SEE SHEET C2

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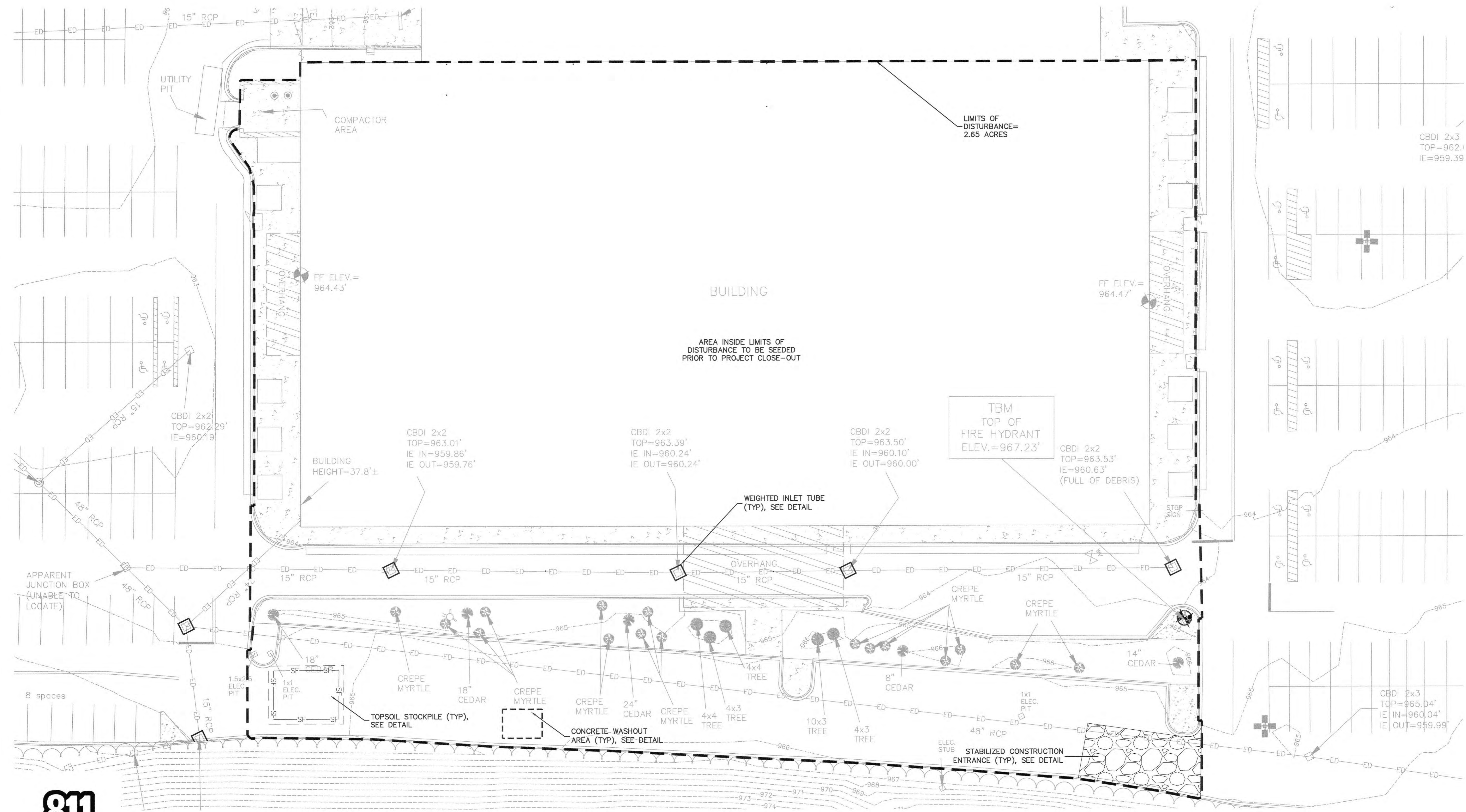
Greenville-
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 602
 Demolition

State Project # H59-6124-CA-B
 Project Number GR2498
 Drawn By CC
 Checked By JB
 Date 12/07/16

Revisions

Drawing
 EROSION CONTROL
 PLAN

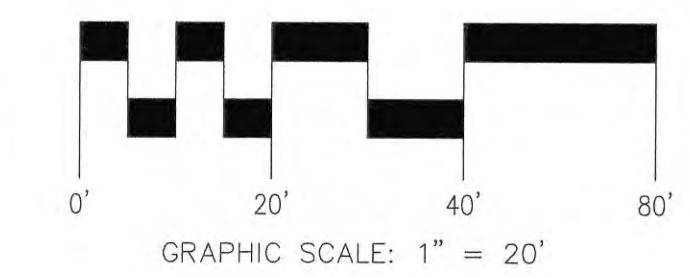
C4



FOR NOTES AND LEGEND
 SEE SHEET C2



Know what's below.
 Call before you dig.



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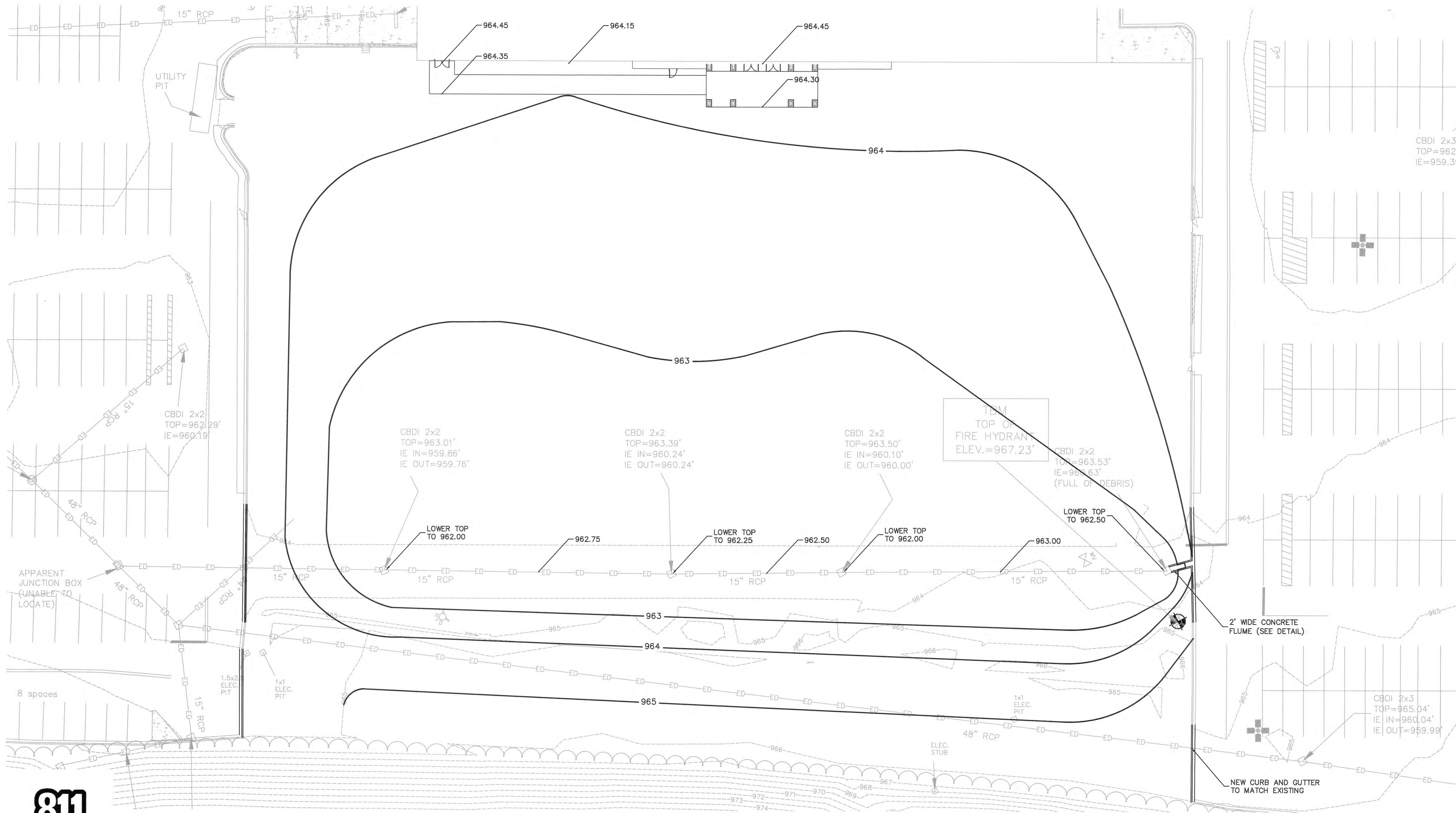
State Project # H59-6124-CA-B
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Drawn By CC
Checked By JB
Date 12/07/16

Revisions

Drawing
SITE, GRADING AND
DRAINAGE PLAN

C5

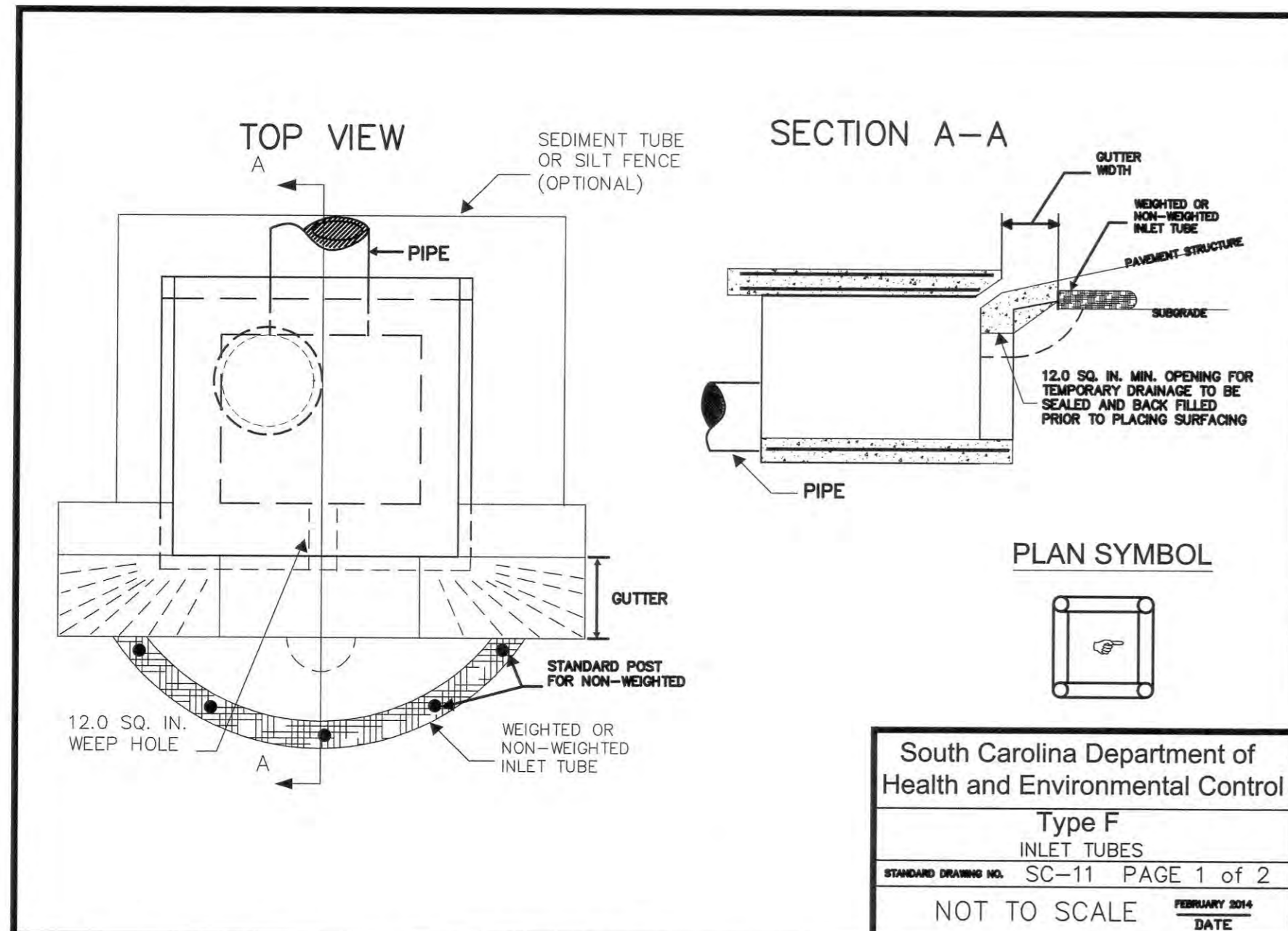
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FOR NOTES AND LEGEND
SEE SHEET C2



Know what's below.
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South Carolina Department of Health and Environmental Control
 Type F
 INLET TUBES
 STANDARD DRAWING NO. SC-11 PAGE 1 of 2
 NOT TO SCALE FEBRUARY 2014 DATE

TYPE F - INLET TUBES INLET PROTECTION

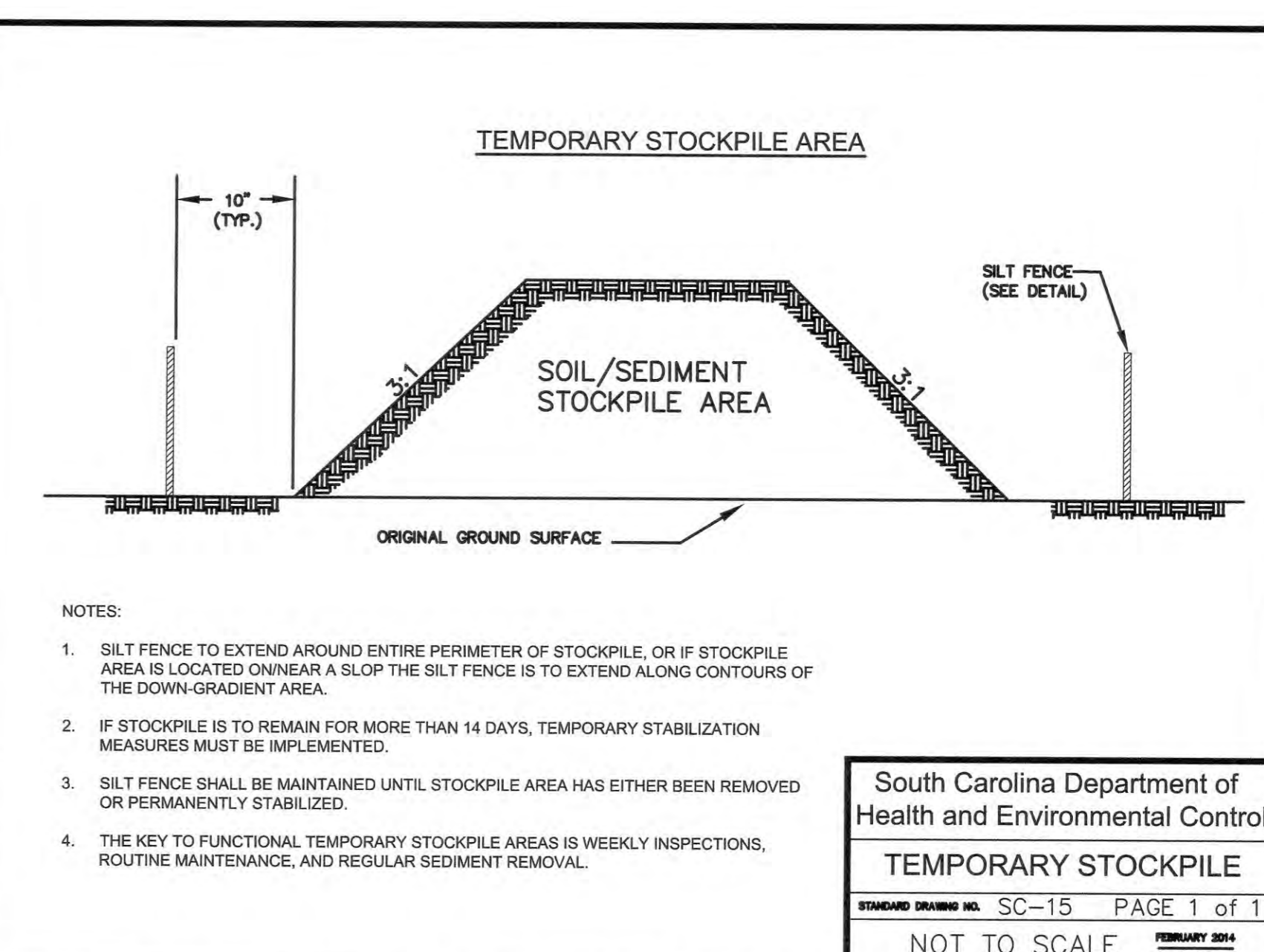
GENERAL NOTES

- Inlet tubes should be composed of compacted geotextiles, curled excelsior wood, natural coconut fibers, a hardwood mulch, or a mix of these materials enclosed by a flexible netting material.
- Inlet tubes should utilize an outer netting that consists of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material. Curled wood excelsior fiber, or natural coconut fiber rolled erosion control products rolled up to create an inlet tube device are not allowed.
- Do not use straw, straw fiber, straw bales, pine needles, or leaf mulch as fill material within inlet tubes.
- Weighted inlet tubes must be capable of staying in place without external stabilization measures and may have a weighted inner core or other weighted mechanism to keep them in place.
- Install weighted tubes lying flat on the ground, with no gaps between the underlying surface and the inlet tube. Do not stack inlet tubes. Do not completely block inlet with tube.
- Non-weighted inlet tubes require staking or other stabilization methods to keep them safely in place.
- Overflow or overlapping of inlet tubes must be allowed to flow into inlet unobstructed.
- To avoid possible flooding, two or three concrete cinder blocks may be placed between the tube and the inlet.

INSPECTION AND MAINTENANCE

- The key to functional inlet protection is weekly inspection, routine maintenance, and regular sediment removal.
- Regular inspections of all inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations in front of the inlet protection is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the blocks. If a sump is used, sediment should be removed when it fills approximately 1/3 the depth of the hole.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Large debris, trash, and leaves should be removed from in front of tubes when found.
- Replace inlet tube when damaged or as recommended by manufacturer's specifications.
- Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

South Carolina Department of Health and Environmental Control
 Type F
 INLET TUBES
 STANDARD DRAWING NO. SC-11 PAGE 2 of 2
 GENERAL NOTES FEBRUARY 2014 DATE

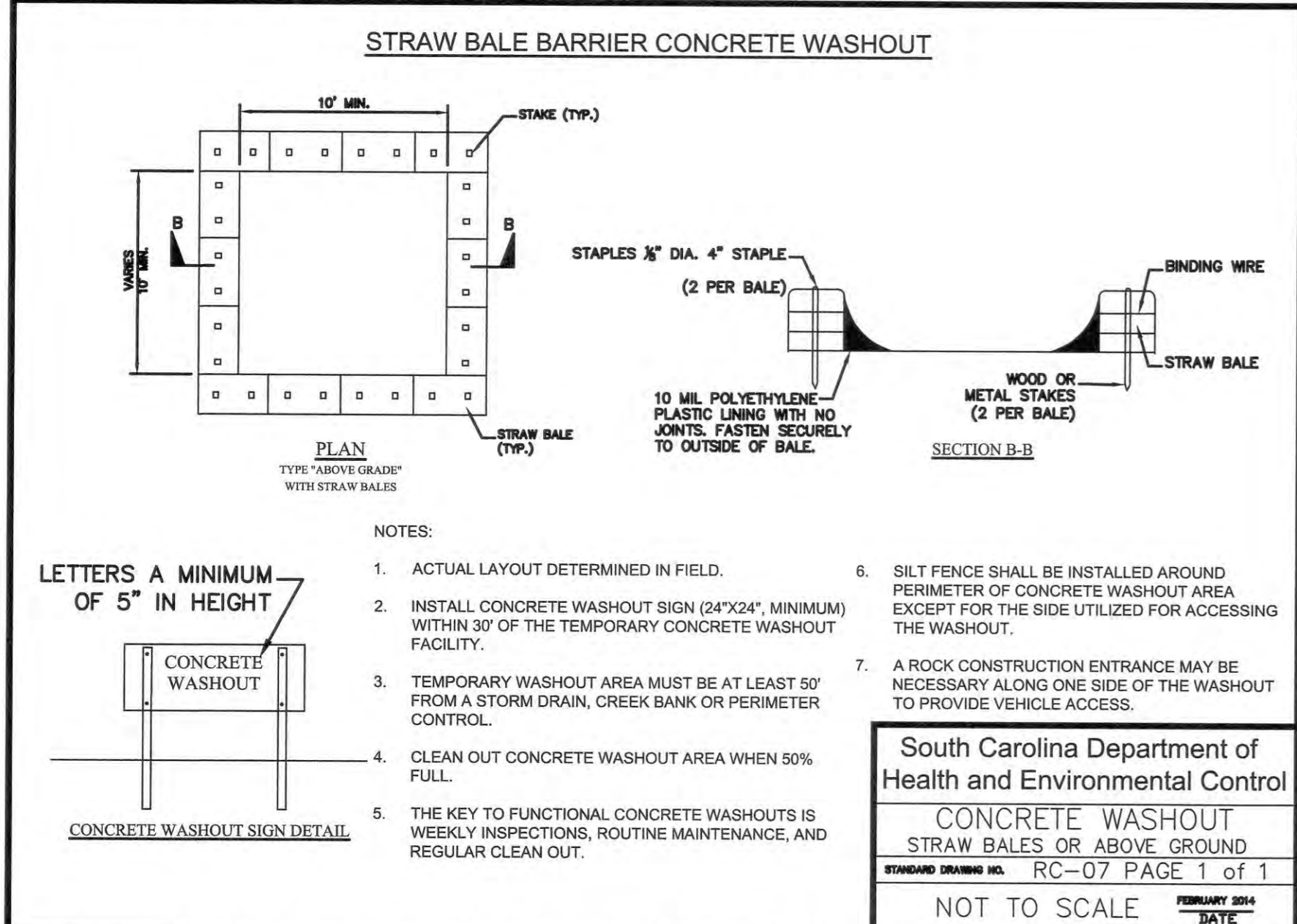


South Carolina Department of Health and Environmental Control
 TEMPORARY STOCKPILE
 STANDARD DRAWING NO. SC-15 PAGE 1 of 1
 NOT TO SCALE FEBRUARY 2014 DATE

NOTES:

- SILT FENCE TO EXTEND AROUND ENTIRE PERIMETER OF STOCKPILE, OR IF STOCKPILE AREA IS LOCATED ON NEAR A SLOPE THE SILT FENCE IS TO EXTEND ALONG CONTOURS OF THE DOWN-GRADIENT AREA.
- IF STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, TEMPORARY STABILIZATION MEASURES MUST BE IMPLEMENTED.
- SILT FENCE SHALL BE MAINTAINED UNTIL STOCKPILE AREA HAS EITHER BEEN REMOVED OR PERMANENTLY STABILIZED.
- THE KEY TO FUNCTIONAL TEMPORARY STOCKPILE AREAS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.

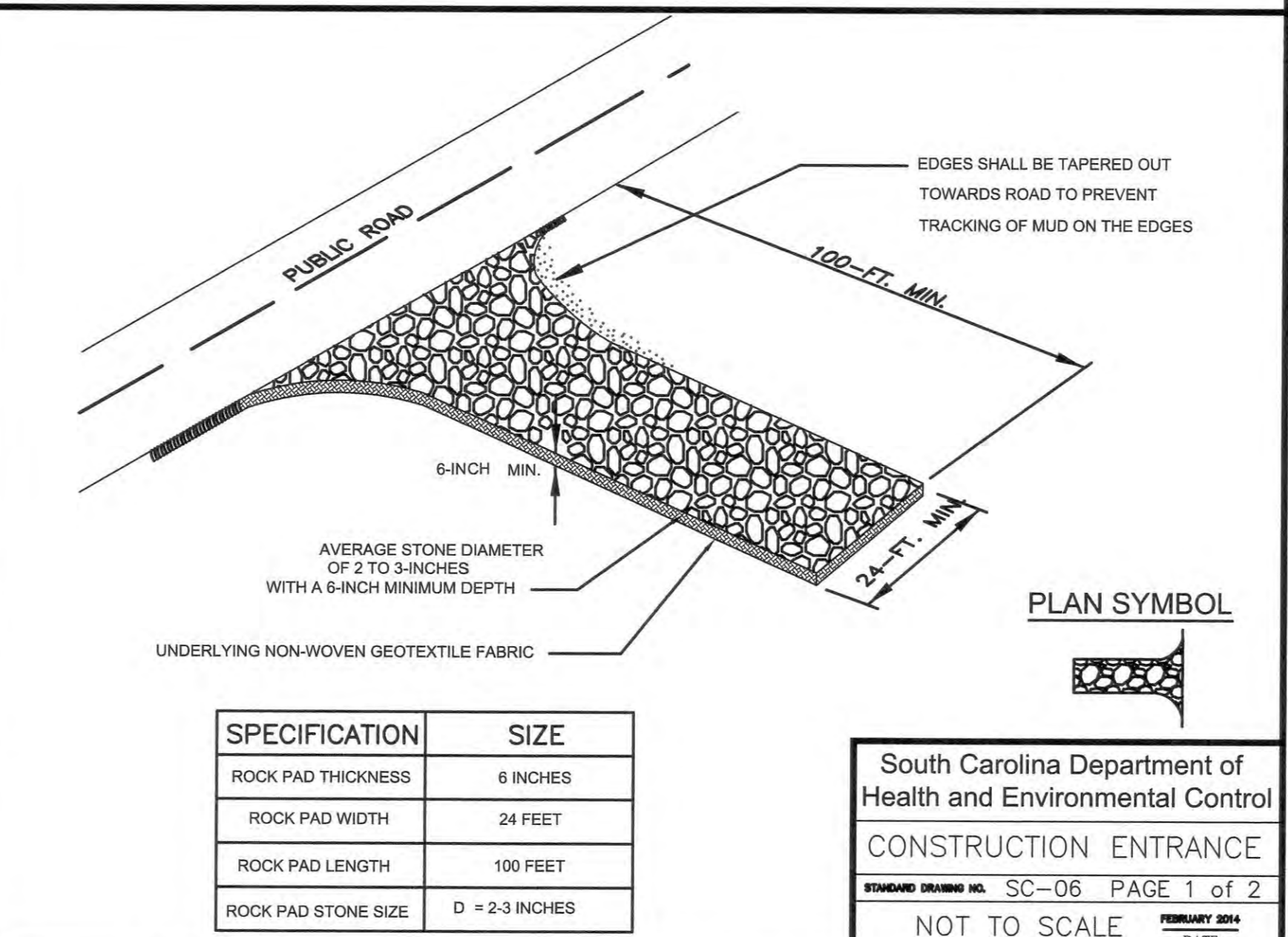
1 | TYPE F INLET TUBE



South Carolina Department of Health and Environmental Control
 CONCRETE WASHOUT
 STRAW BALES OR ABOVE GROUND
 STANDARD DRAWING NO. RC-07 PAGE 1 of 1
 NOT TO SCALE FEBRUARY 2014 DATE

NOTES:

- ACTUAL LAYOUT DETERMINED IN FIELD.
- INSTALL CONCRETE WASHOUT SIGN (24"X24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
- CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
- THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.



South Carolina Department of Health and Environmental Control
 CONSTRUCTION ENTRANCE
 STANDARD DRAWING NO. SC-06 PAGE 1 of 2
 NOT TO SCALE FEBRUARY 2014 DATE

CONSTRUCTION ENTRANCE - GENERAL NOTES

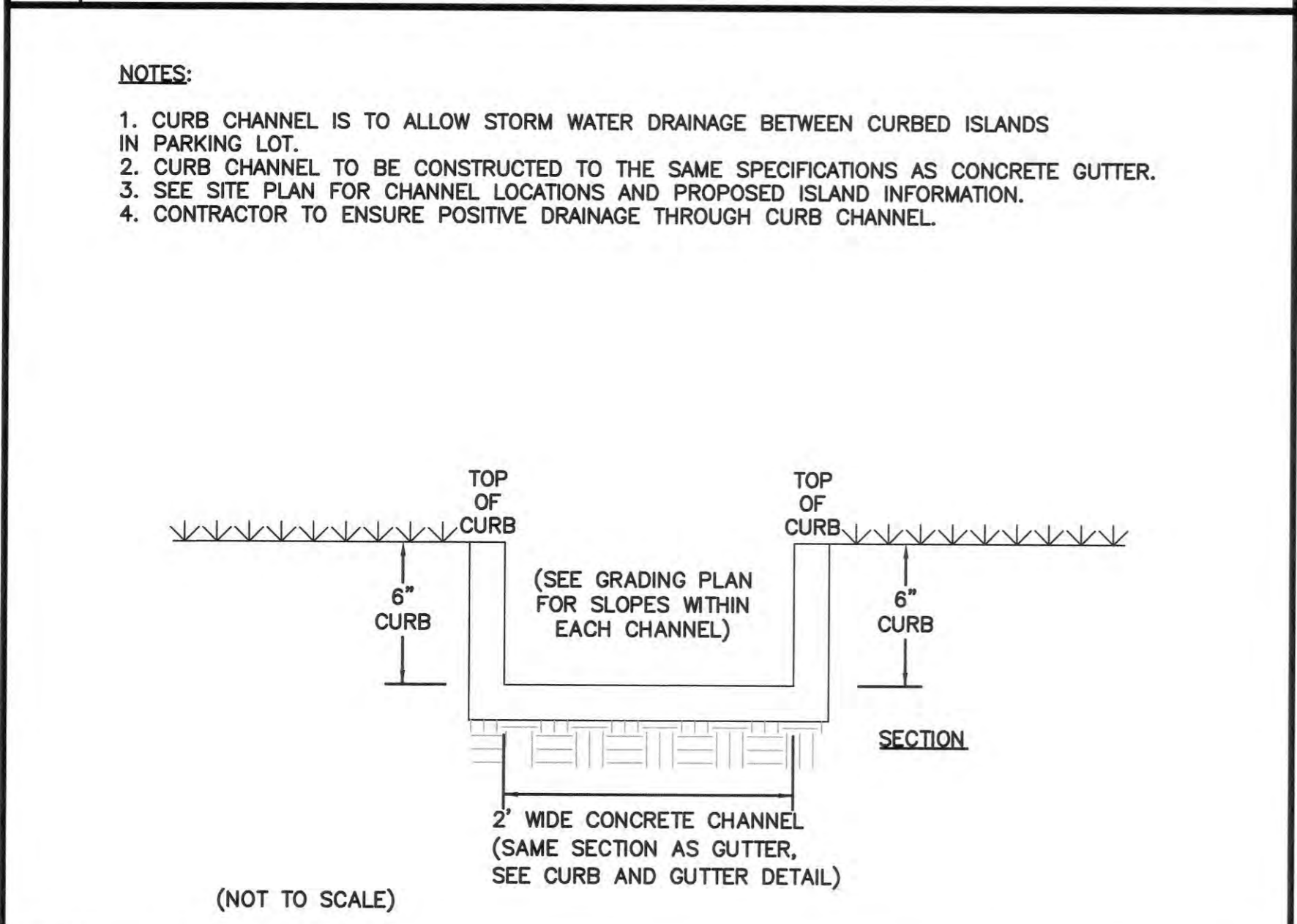
- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
- Install a non-woven geotextile fabric prior to placing any stone.
- Install a culvert pipe across the entrance when needed to provide positive drainage.
- The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
- Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
- The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
- Limestone may not be used for the stone pad.

CONSTR. ENTRANCE - INSPECTION & MAINTENANCE

- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
- Reshape the stone pad as necessary for drainage and runoff control.
- Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
- Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
- During maintenance activities, any broken pavement should be repaired immediately.
- Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

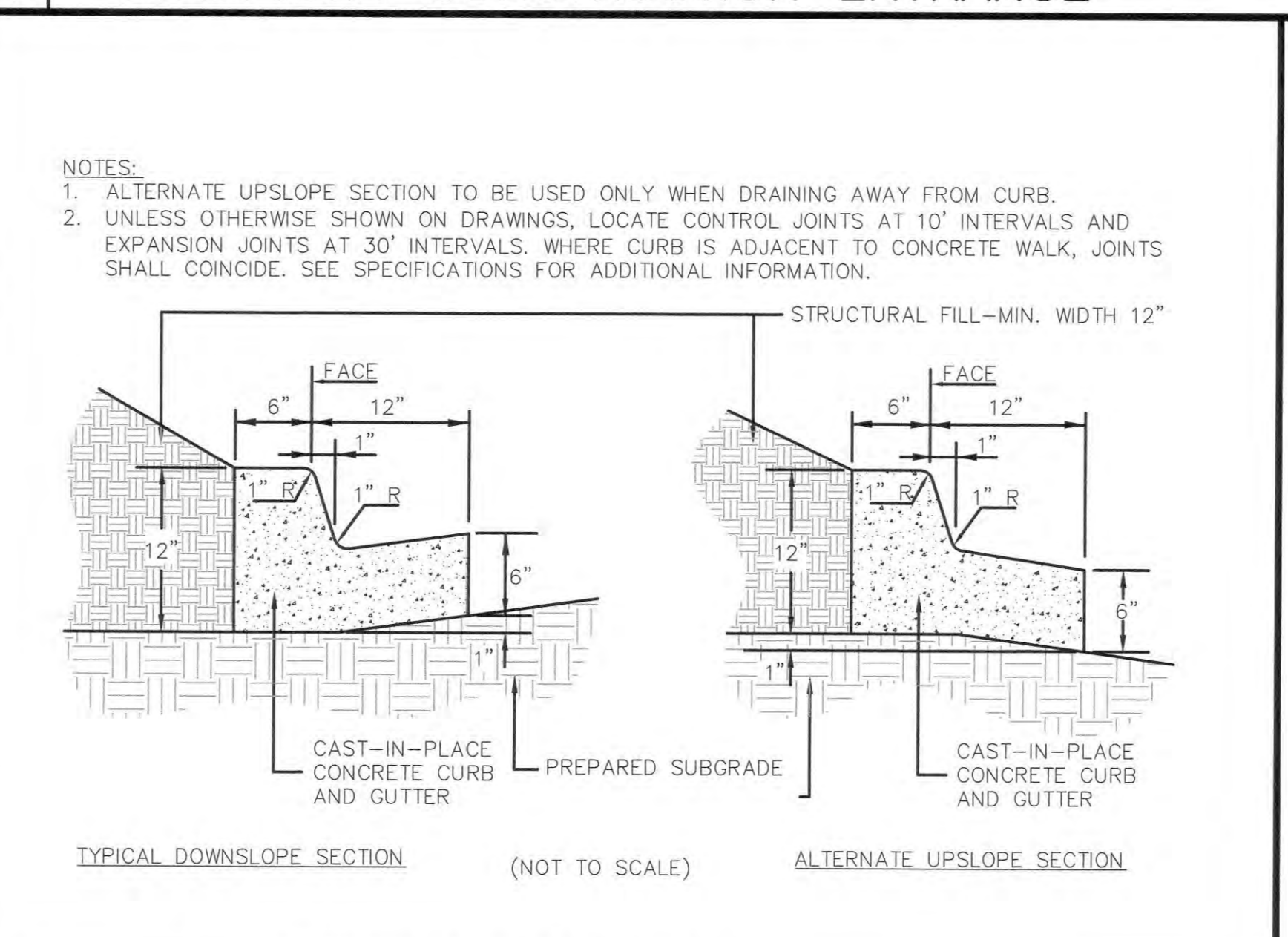
South Carolina Department of Health and Environmental Control
 CONSTRUCTION ENTRANCE
 STANDARD DRAWING NO. SC-06 PAGE 2 of 2
 GENERAL NOTES FEBRUARY 2014 DATE

3 | CONCRETE WASHOUT BASIN



5 | CURB FLUME

4 | STABILIZED CONSTRUCTION ENTRANCE



5 | 18" CURB AND GUTTER



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Revisions

Drawing
 SITE DETAILS

C6

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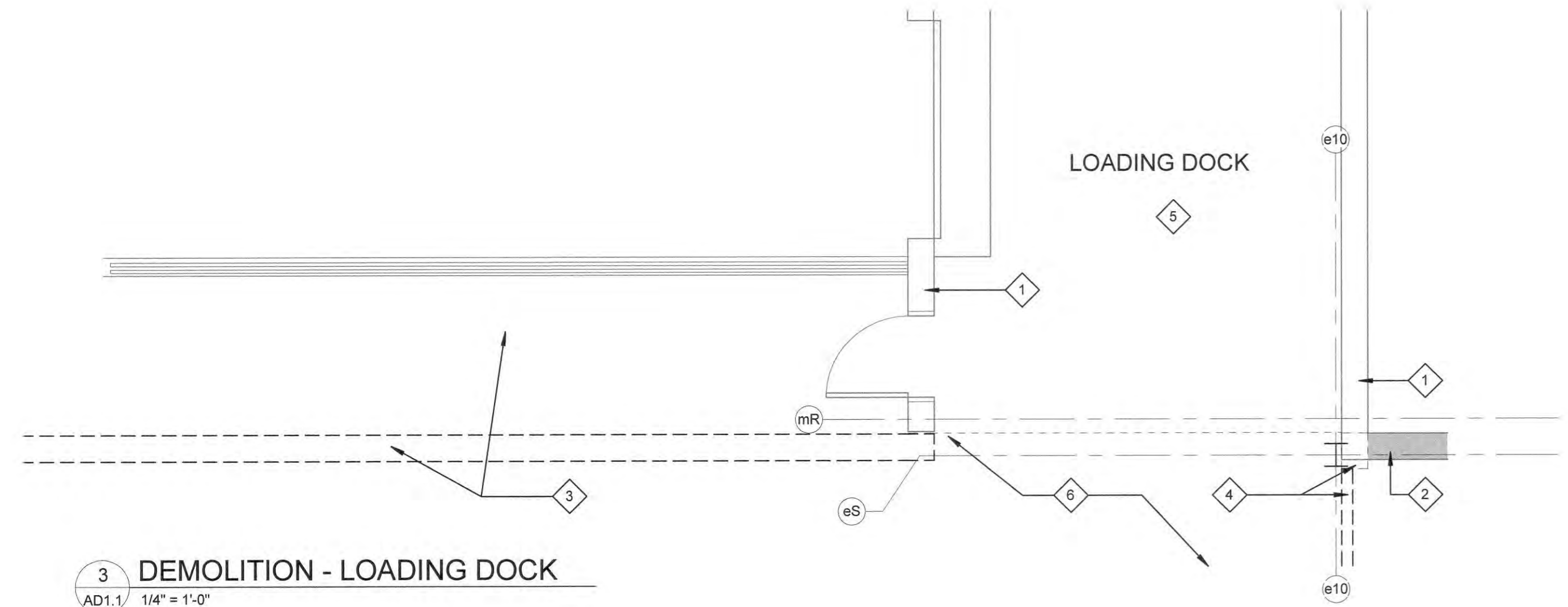


AD1 SERIES DRAWING NOTES

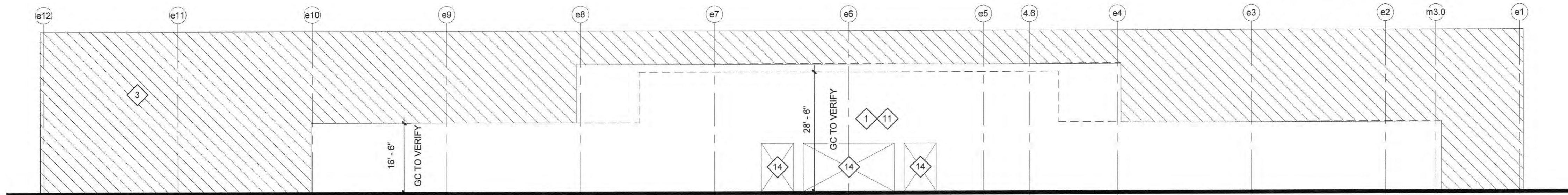
- 1 EXISTING WALL TO REMAIN.
- 2 REMOVE SECTION OF WALL 2'-0" ABOVE MALL ROOF LINE. REFER TO DEMOLITION ELEVATION THIS SHEET AND WALL SECTIONS FOR ADDITIONAL INFORMATION.
- 3 REMOVE WALL IN ITS ENTIRETY. MAINTAIN EXISTING CONCRETE SIDEWALK AND GUARD RAIL.
- 4 REMOVE SECTION OF WALL TO ALLOW FOR INSTALLATION OF NEW EXTERIOR WALL.
- 5 REMOVE EXISTING PIPE SYSTEM FOR CLOTHING MANAGEMENT.
- 6 LIMITS OF FLOOR SLAB REQUIRED TO BE REMOVED FOR NEW STRUCTURE AND FOUNDATIONS AT NEW EXTERIOR WALL.
- 7 REMOVE EXISTING STOREFRONT SYSTEM AND ENCLOSURE WALLS.
- 8 CUT SLAB EDGE FLUSH WITH EDGE OF BRICK PIERS TO ALLOW FOR NEW SIDEWALK CONSTRUCTION.
- 9 EXISTING CEILING ABOVE STOREFRONT TO REMAIN INTACT. REPAIR/REPLACE AS NECESSARY TO ACCOMPLISH NEW WORK.
- 10 EXISTING CEILING GRID AND PANELS TO BE REMOVED. FIRE RATED CEILING SYSTEM ABOVE TO REMAIN INTACT.
- 11 REMOVE EXISTING FINISHES AND FURRING ETC. FROM EXISTING CMU WALL FOR THE FULL EXTENTS OF THE EXISTING WALL TYPICAL.
- 12 EXISTING COLUMN TO REMAIN. TYPICAL.
- 13 CUT EXISTING BEAM EMBEDDED IN WALL FLUSH WITH NEW WALL END WHERE WALL IS INDICATED TO REMAIN.
- 14 REMOVE EXISTING STOREFRONT AND DOORS. PREPARE OPENING FOR REPLACEMENT STOREFRONT AND DOORS.

GENERAL DEMOLITION NOTES

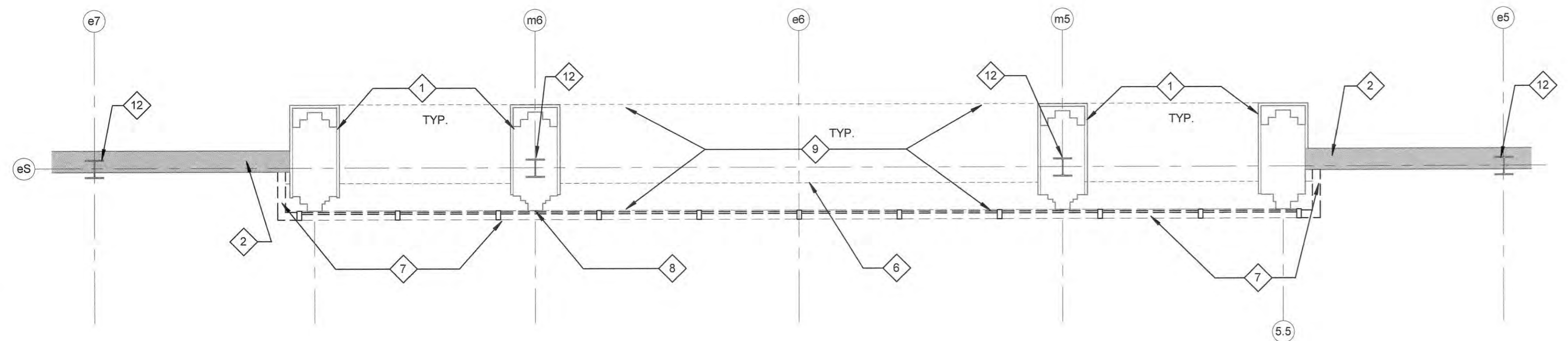
- A ALL MATERIALS THAT HAVE BEEN DEMOLISHED SHALL BE REMOVED IMMEDIATELY AND DISPOSED OF PROPERLY. NO DEMOLISHED MATERIALS SHALL BE STOCKPILED ON SITE.
- B PROTECT OWNER'S PROPERTY AND PERSONS AT ALL TIMES. THIS SECTION INCLUDES ALL ITEMS AND SERVICES NECESSARY TO DEMOLISH OR DISMANTLE AND REMOVE ALL WALLS, EQUIPMENT, PIPING AND APPURTENANCES WHICH WILL INTERFERE WITH NEW CONSTRUCTION. ALL ITEMS TO BE REMOVED SHALL BE COORDINATED WITH NEW CONSTRUCTION.
- C ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR.
- D COORDINATE ANY SYSTEMS SHUTDOWNS WHICH MAY BE REQUIRED WITH THE OWNER.
- E THE CONTRACTOR SHALL CONTROL AND LIMIT DUST RESULTING FROM DEMOLITION AND PREVENT THE SPREAD OF DUST TO THE BUILDING AND ADJACENT SITE.
- F PRIOR TO COMMENCING WITH THE DEMOLITION THE CONTRACTOR SHALL ASCERTAIN FROM THE OWNER WHETHER OR NOT THE OWNER WISHES TO RETAIN ANY ITEMS. ANY SUCH ITEMS SHALL BE REMOVED WITH CARE SO AS TO PREVENT UNNECESSARY DAMAGE.
- G CONTRACTOR SHALL MAKE FUNCTIONAL ALL CIRCUITS DISRUPTED BY ANY DEMOLITION IN THIS AREA.
- H HAZARDOUS MATERIALS ARE REQUIRED TO BE REMOVED AS A SEPARATE CONTRACT (PART A) UNDER THIS PROJECT. REFER TO THE OWNER PROVIDED INFORMATION FOR ADDITIONAL REQUIREMENTS.



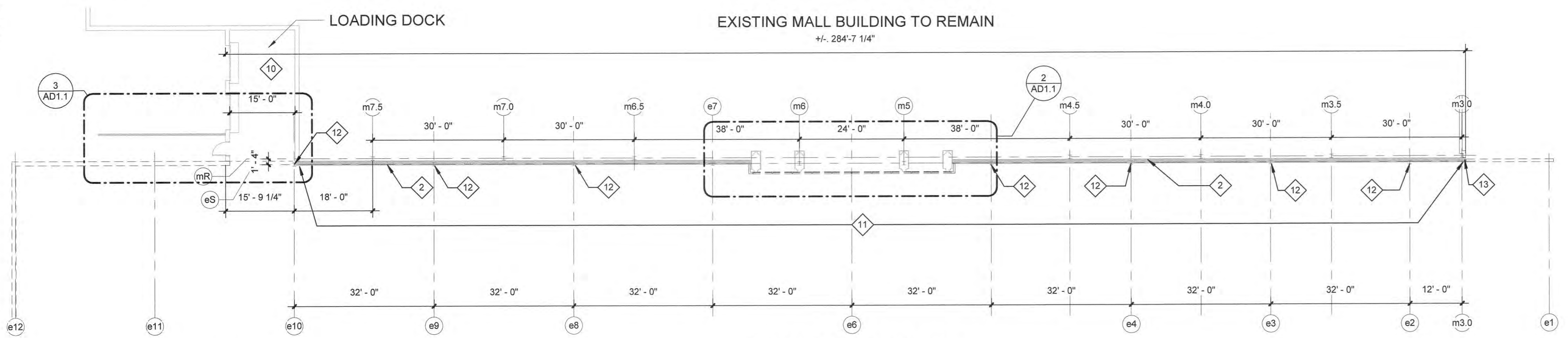
3 DEMOLITION - LOADING DOCK
AD1.1 1/4" = 1'-0"



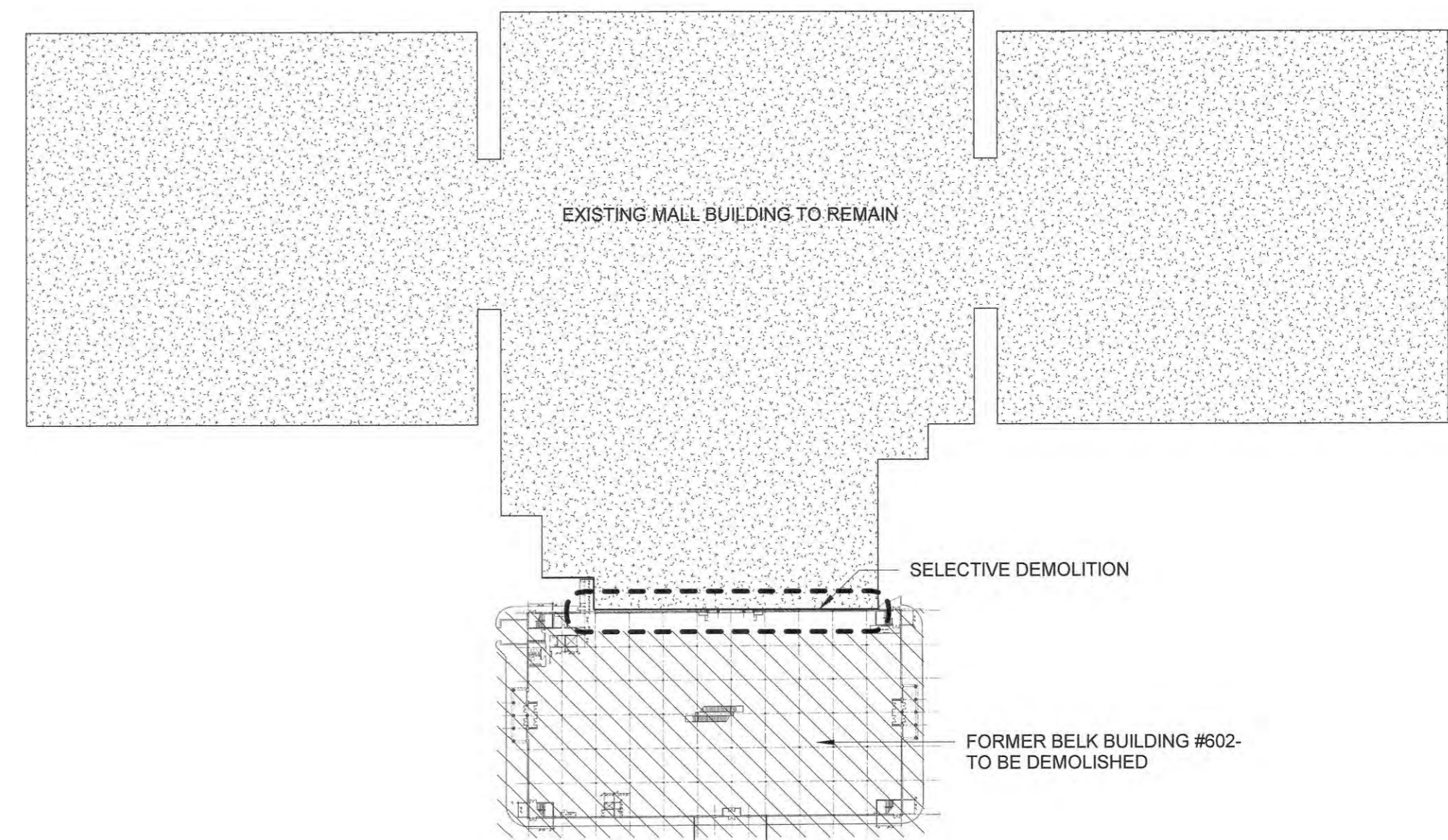
4 COMMON WALL DEMOLITION ELEVATION
AD1.1 1/16" = 1'-0"



2 DEMOLITION - MALL ENTRANCE
AD1.1 1/4" = 1'-0"



1 DEMOLITION PLAN OVERALL
AD1.1 1/16" = 1'-0"



SITE KEY PLAN

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Project

Greenville Technical College
Greenville - Demolition of Bldg. 602

State Project # H59-6124-CA-B
Project Number 15288
Drawn By Author
Checked By Checker
Date 12 Dec 2016

Revisions

Drawing

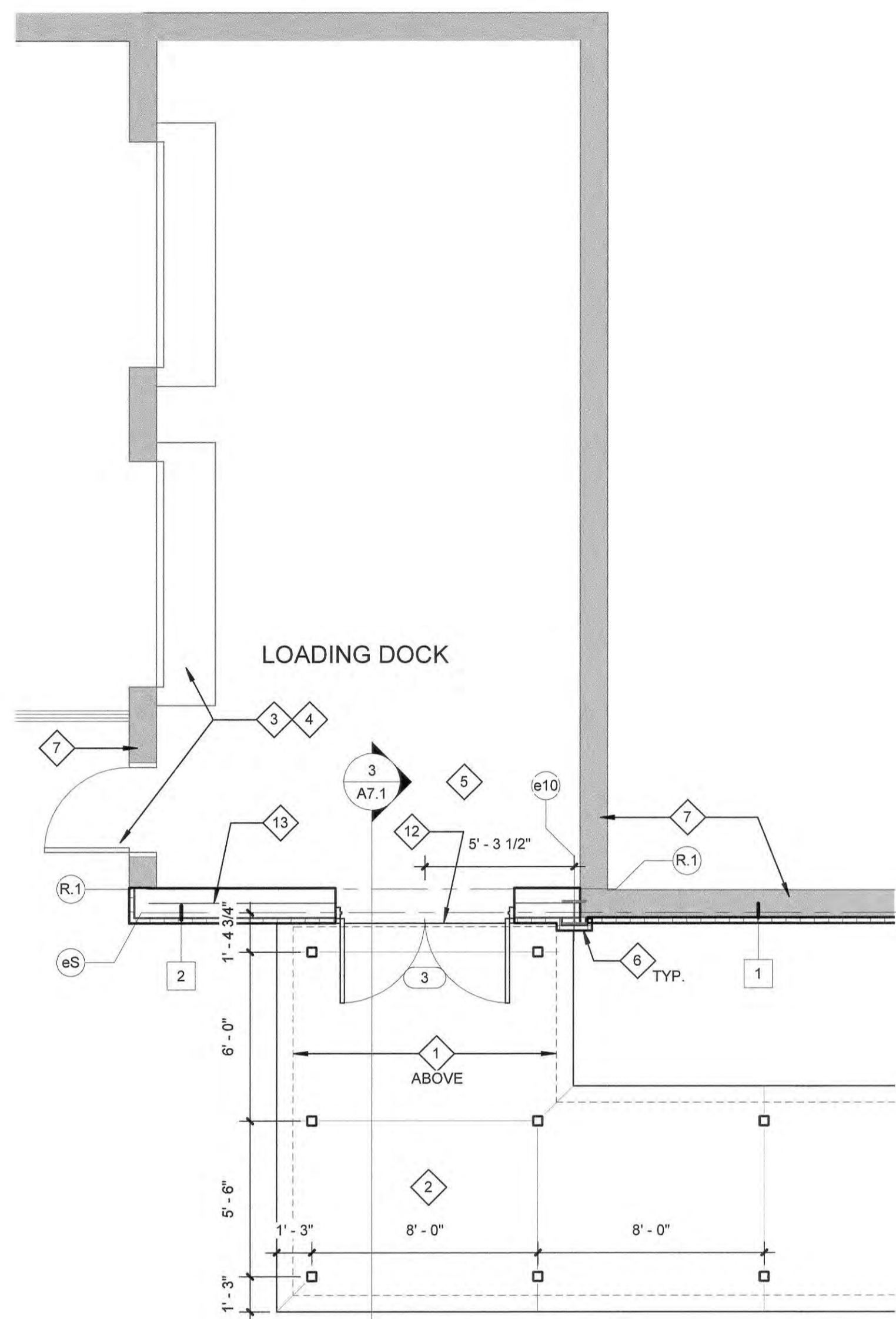
Selective Demolition Plan and Notes



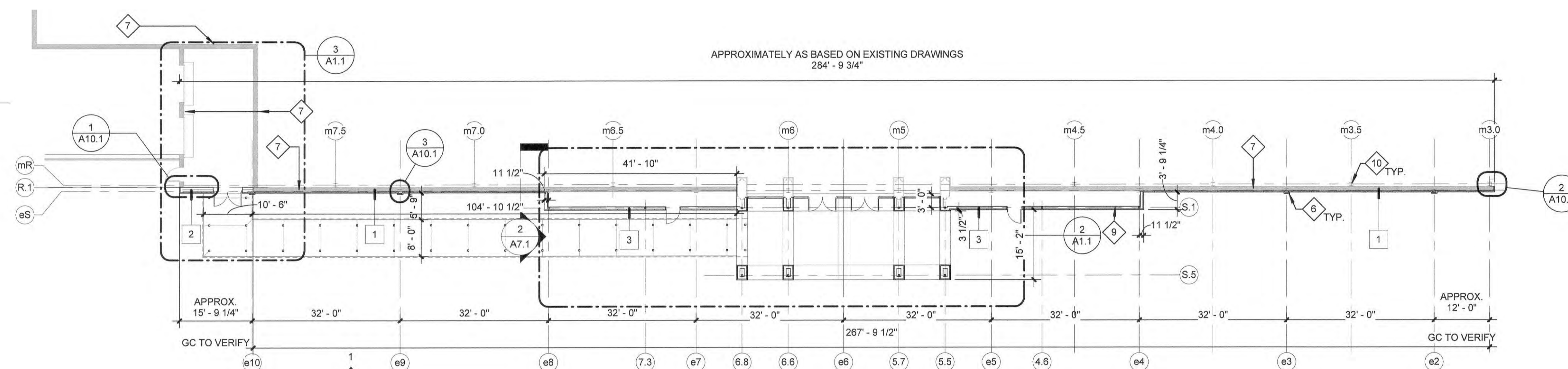
AD1.1

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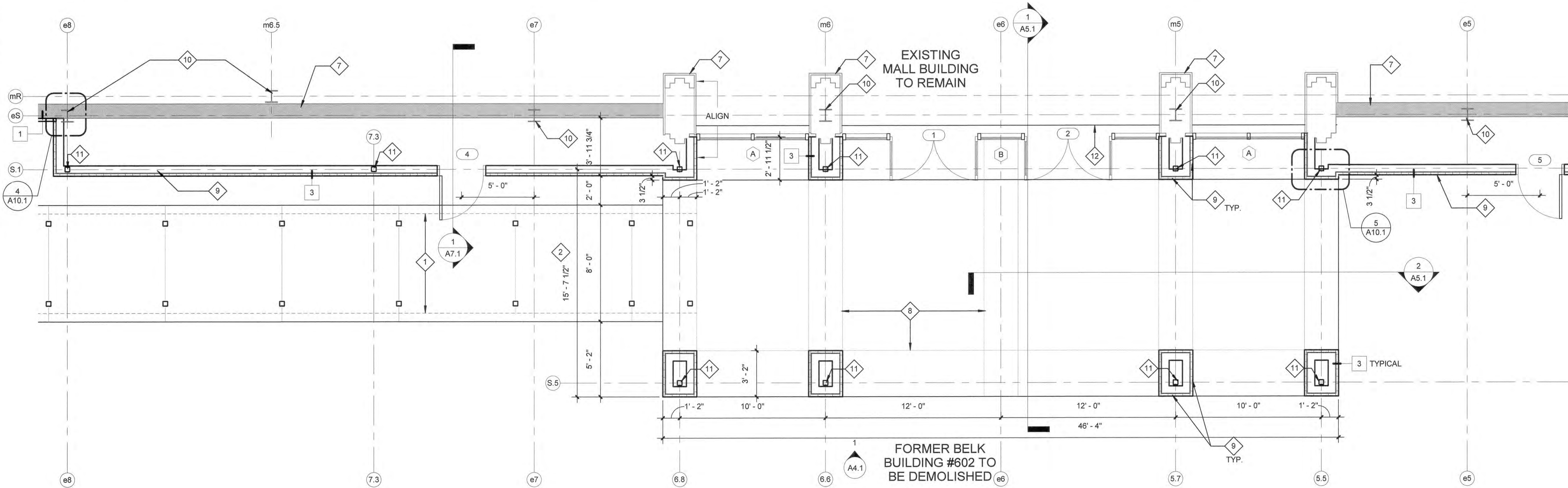
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3 LEVEL 1 PLAN - LOADING DOCK
A1.1 1/4" = 1'-0"

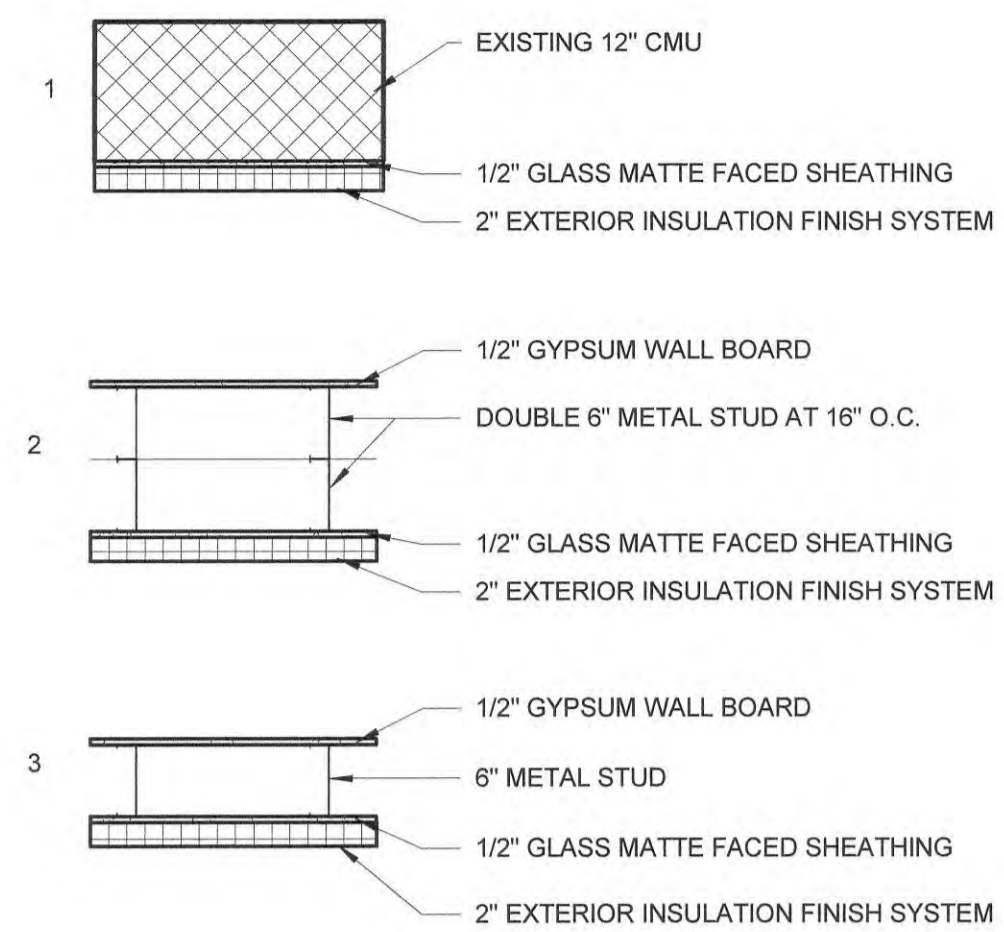


1 LEVEL 1 OVERALL PLAN
A1.1 1/16" = 1'-0"



2 LEVEL 1 PLAN - MALL ENTRANCE
A1.1 1/4" = 1'-0"

WALL TYPE LEGEND



A1.1 DRAWING NOTES

- 1 -ALTERNATE ONE - PREFABRICATED ALUMINUM WALKWAY COVER ABOVE AND RELATED STRUCTURE.
- 2 NEW SIDEWALK. REFER TO CIVIL DRAWINGS.
- 3 CLEAN EXISTING MANDOOK , FRAME AND DOCK DOORS. REPAINT TO MATCH EXISTING.
- 4 REPLACE DAMAGED HARDWARE TO MATCH EXISTING.
- 5 CLEAN FLOOR AND WALLS. REPAINT SINGLE COLOR TO MATCH EXISTING.
- 6 AFTER REMOVAL OF EXISTING JOIST, FLOOR AND ROOF SYSTEMS FROM BELK BLDG. DEMOLITION WRAP REMAINING COLUMNS IN SHEATHING AND EIFS SYSTEMS TO MATCH ADJACENT NEW EXTERIOR WALL FINISH.
- 7 EXISTING WALL TO REMAIN.
- 8 TYPICAL CONTROL JTS. TO ALIGN WITH NEW PIERS.
- 9 NEW WALL. REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION.
- 10 EXISTING COLUMNS TO REMAIN.
- 11 NEW TUBE STEEL COLUMNS. REFER TO STRUCTURAL DRAWINGS.
- 12 EDGE OF EXISTING SLAB. REFER TO STRUCTURAL DRAWINGS.
- 13 DOUBLE STUD WALL - 6\"/>

GENERAL FLOOR PLAN NOTES

- A GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
- B DIMENSIONS ARE TO CENTERLINE OF COLUMN LINES, FACE OF INTERIOR STUDS, FACE OF EXTERIOR WALL AND FACE OF MASONRY UNLESS NOTED OTHERWISE.
- C DOORS AND WINDOWS ARE DIMENSIONED TO THE CENTER OF THE OPENING.
- D THE CONTRACTOR SHALL COORDINATE ALL UNDERGROUND PIPING, MECHANICAL AND ELECTRICAL WORK.
- E DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS FOR ALL MEASUREMENTS.
- F LUMBER AND BLOCKING IN CONTACT WITH MASONRY AND CONCRETE SHALL BE PRESSURE TREATED.

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Greenville - Demolition of
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State Project # H59-6124-CA-B
Project Number 15288
Drawn By LCA
Checked By JMT
Date 12 Dec 2016

Revisions

Drawing

Dimension Floor
Plan



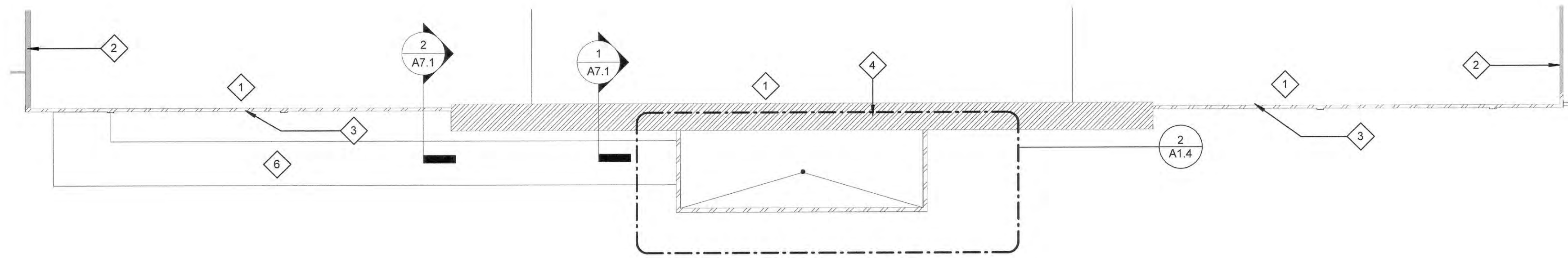
A1.1

GENERAL ROOF PLAN NOTES

- A PROVIDE ALL FLASHING MATERIALS AND METHODS AS APPROVED BY THE MANUFACTURER FOR A FULL WATERPROOFING SYSTEM.
- B IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW OTHER DRAWINGS FOR ROOF PENETRATIONS NOT SHOWN.
- C ALL FLASHING TO BE PREFINISHED SHEET METAL UNLESS NOTED OTHERWISE.
- D GENERAL CONTRACTOR TO COORDINATE ALL OPENINGS WITH PLUMBING AND MECHANICAL DRAWINGS.
- E ROOFING CONTRACTOR SHALL FABRICATE AND INSTALL METAL COUNTER FLASHING RECEIVER PROFILE IN A TIMELY FASHION AT WALL - SILL CONDITIONS AND AT ROOF-WALL JUNCTIONS TO FACILITATE TIMELY INSTALLATION OF COUNTER FLASHING RECEIVERS.
- F TRAFFIC OVER FINISHED ROOF SURFACES IS NOT DESIRED. WHERE OVER ROOF TRAFFIC IS ANTICIPATED, PROTECT ROOF SURFACE WITH EXTERIOR GRADE 5/8" MIN PLYWOOD OVER 1" EXPANDED POLYSTYRENE FOAM INSULATION BALLASTED IN PLACE WITH SAND BAGS OR THE LIKE.

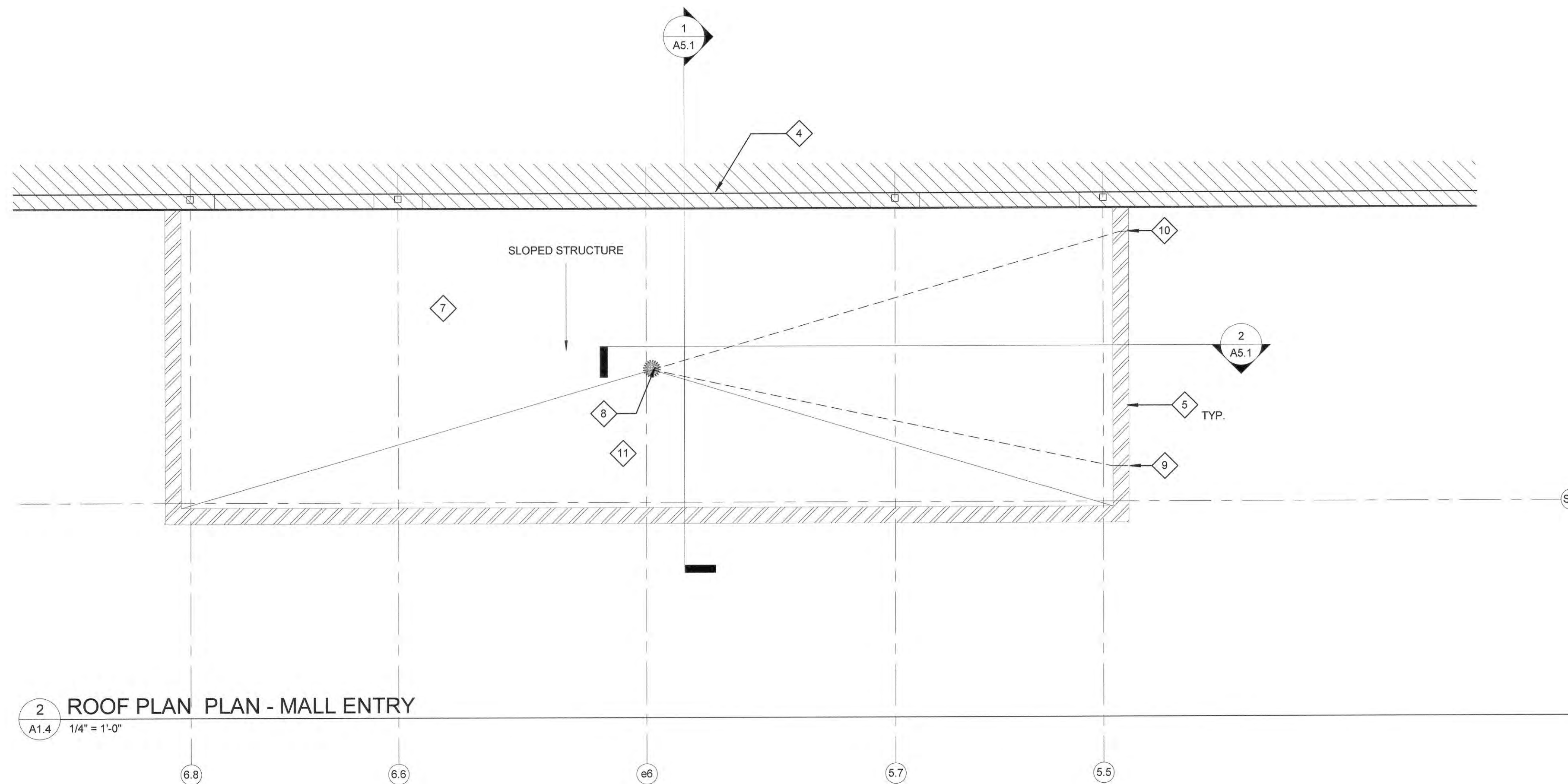
A1.4 DRAWING NOTES

- 1 EXISTING MEMBRANE ROOF TO REMAIN. TIE IN NEW PARAPET FLASHING AT PERIMETER OF EXISTING MALL WALL. REFER TO WALL SECTIONS FOR ADDITIONAL INFORMATION.
- 2 EXISTING METAL ROOF EDGE FASCIA.
- 3 METAL COPING CAP TO MATCH EXISTING.
- 4 REINFORCED METAL COPING CAP.
- 5 COPING CAP TO MATCH EXISTING FASCIA EDGE.
- 6 ALTERNATE ONE: PREFABRICATED ALUMINUM WALKWAY COVER.
- 7 NEW MEMBRANE ROOF SYSTEM. REFER TO SPECIFICATIONS.
- 8 ROOF DRAIN WITH INTEGRAL OVERFLOW ROOF DRAIN. BASIS OF DESIGN- ZURN Z103-45-DP-E DUAL OUTLET.
- 9 PRIMARY INSULATED ROOF LEADER (DURA COATED CAST IRON) CONNECTED TO STORM SEWER LINE. REFER TO CIVIL DRAWINGS.
- 10 SECONDARY INSULATED ROOF LEADER (DURA COATED CAST IRON) TO DOWNSPOUT NOZZLE CENTERED IN COLUMN BASE.
- 11 TAPERED INSULATION- 1/4" PER FT. OR GREATER.



1 ROOF PLAN OVERALL PLAN

A1.4 1/16" = 1'-0"



2 ROOF PLAN PLAN - MALL ENTRY

A1.4 1/4" = 1'-0"

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Greenville Technical College
Greenville - Demolition of
Bldg. 602

State Project # H59-6124-CA-B
Project Number 15288
Drawn By LCA
Checked By JMT
Date 12 Dec 2016

Revisions

Drawing

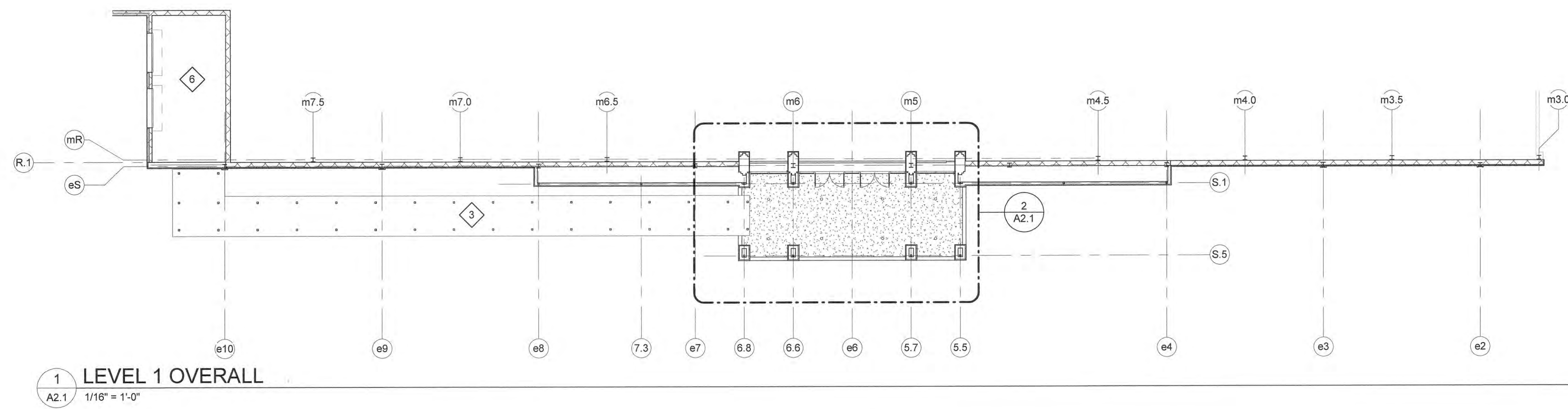
Roof Plan



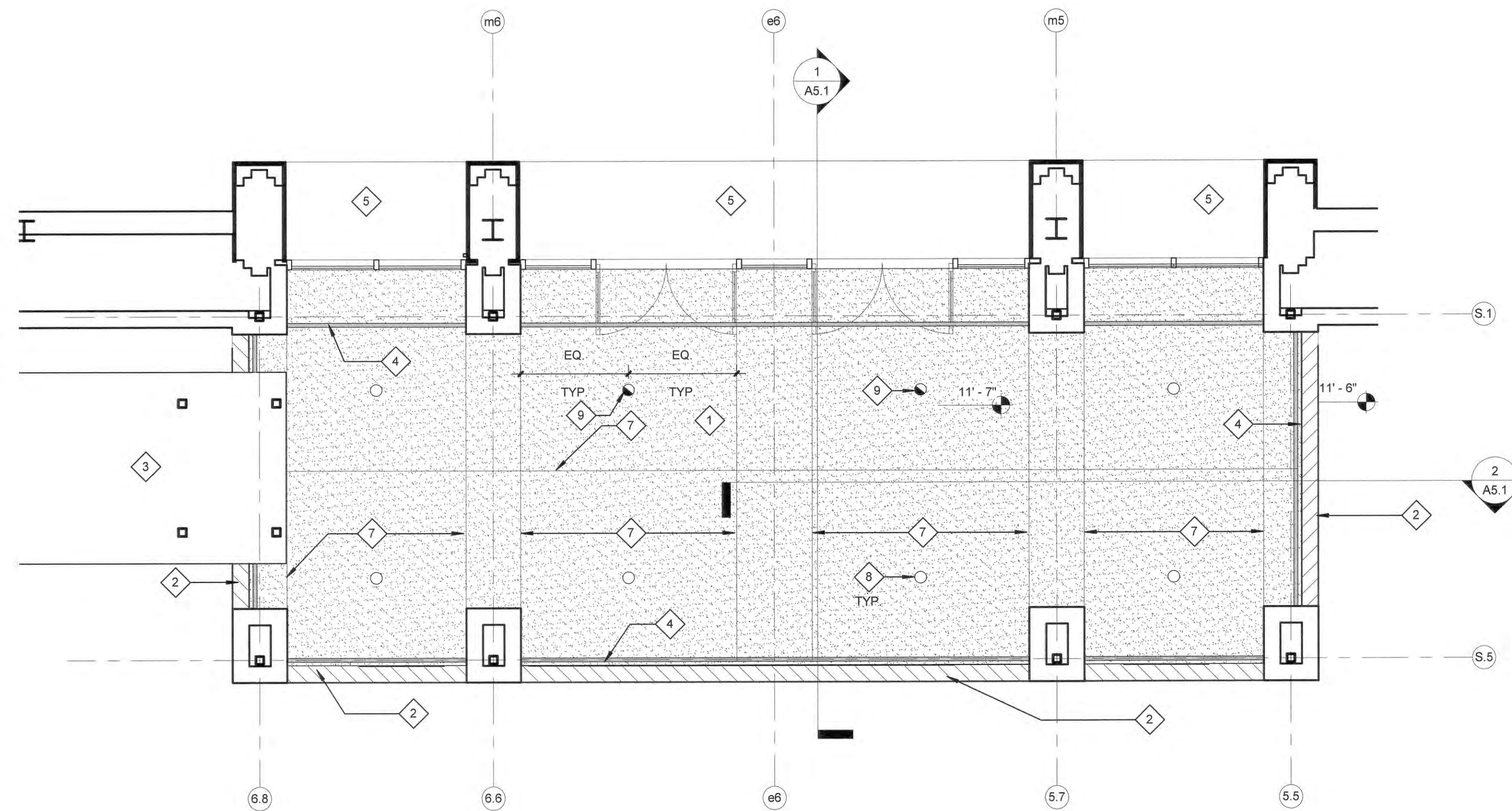
A1.4

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1 LEVEL 1 OVERALL
A2.1 1/16" = 1'-0"



2 LEVEL 1 - MALL ENTRY
A2.1 1/4" = 1'-0"

GENERAL REFLECTED CEILING PLAN NOTES

- A ALL CEILING HEIGHTS ARE TO MATCH EXISTING UNLESS NOTED OTHERWISE.
- B PROVIDE 6 CAN DOWNLIGHTS, LED W/ FIXTURE (3500W), 120 V, 13 FIXTURE WATTS, LOW PROFILE, ELECTRONIC BALLAST, LENSED, WET LOCATION LISTED, WIRE INTO EXISTING CIRCUIT AT CANOPY.
- C CEILING SUSPENSION SYSTEM TO MEET SEISMIC REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2015 EDITION.

A2 SERIES DRAWING NOTES

- 1 EXTERIOR GYPSUM BOARD CEILING ON CHANNEL FRAMING SYSTEM, PAINTED.
- 2 EIFS RETURN.
- 3 ALTERNATE ONE : PREFABRICATED ALUMINUM COVERED WALKWAY.
- 4 CONTINUOUS 2" ALUMINUM SOFFIT VENT
- 5 EXISTING GYPSUM BOARD CEILING TO REMAIN. PATCH AS REQUIRED FOR NEW STOREFRONT INSTALLATION. PAINT.
- 6 INSTALL NEW FIRE CEILING PANELS AND GRID WHERE MISSING TO MATCH EXISTING.
- 7 CONTROL JOINT.
- 8 6" LED OPEN DOWNLIGHT, CLEAR SPECULAR FINISH, CAST FINNED METAL HEAT SINK/HOUSING, WHITE CIRCUIT BOARD WITH LED, SPUN SPECULAR METAL REFLECTOR, OPEN BOTTOM, 7000167, LAMP MULTI-CHIP LED, VERTICAL BASE POSITION, LUMENS PER LAMP: 3518, 44 WATTAGE, MODEL: R8N0230K12D-C8322W-CLR BY CONSERVATION TECHNOLOGY AS BASIS OF DESIGN. CONTROL WITH PHOTOCELL SENSOR. OWNER WILL PROVIDE CONDUITED PATHWAY BACK TO PANEL AND BREAKER IN PANEL. DISTANCE IS APPROXIMATELY 130' FROM CANOPY.
- 9 SAME MODEL FIXTURE AS LISTED IN ITEM ABOVE. PROVIDE INTEGRAL EM BATTERY PACK CONTECH R8NC-6-40K-27-D1-ER WITH EM TEST SWITCH TO BE MOUNTED ADJACENT TO FIXTURE.

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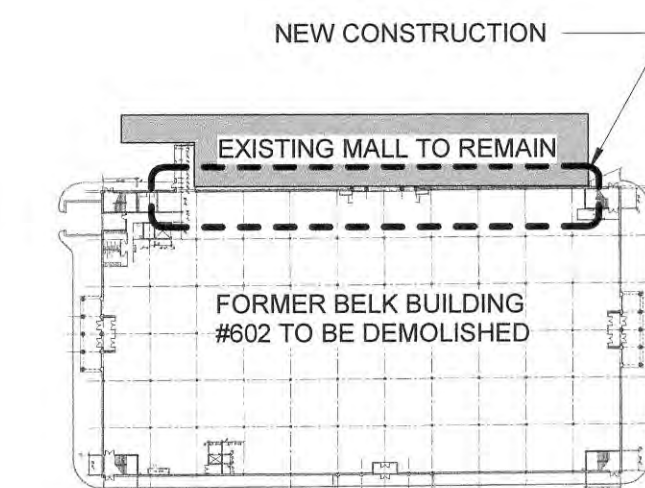
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Project

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Bldg. 602

State Project # H59-6124-CA-B
Project Number 15288
Drawn By LCA
Checked By JMT
Date 12 Dec 2016

Revisions



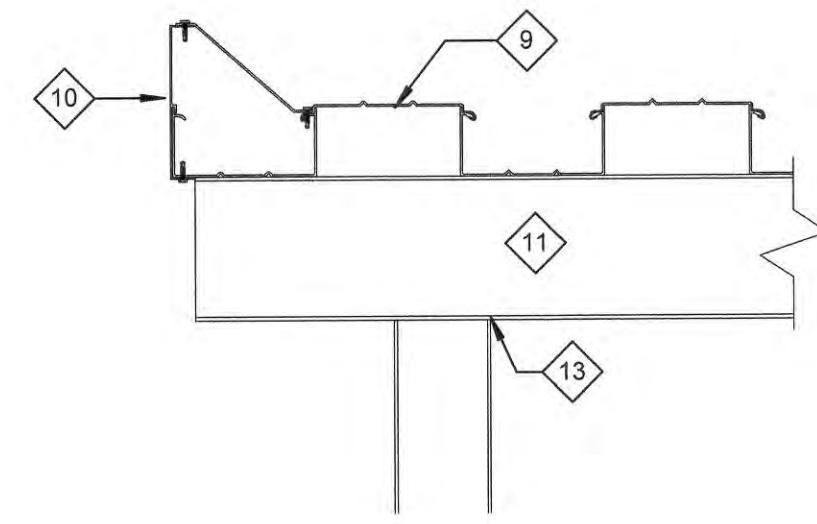
KEY PLAN

Drawing

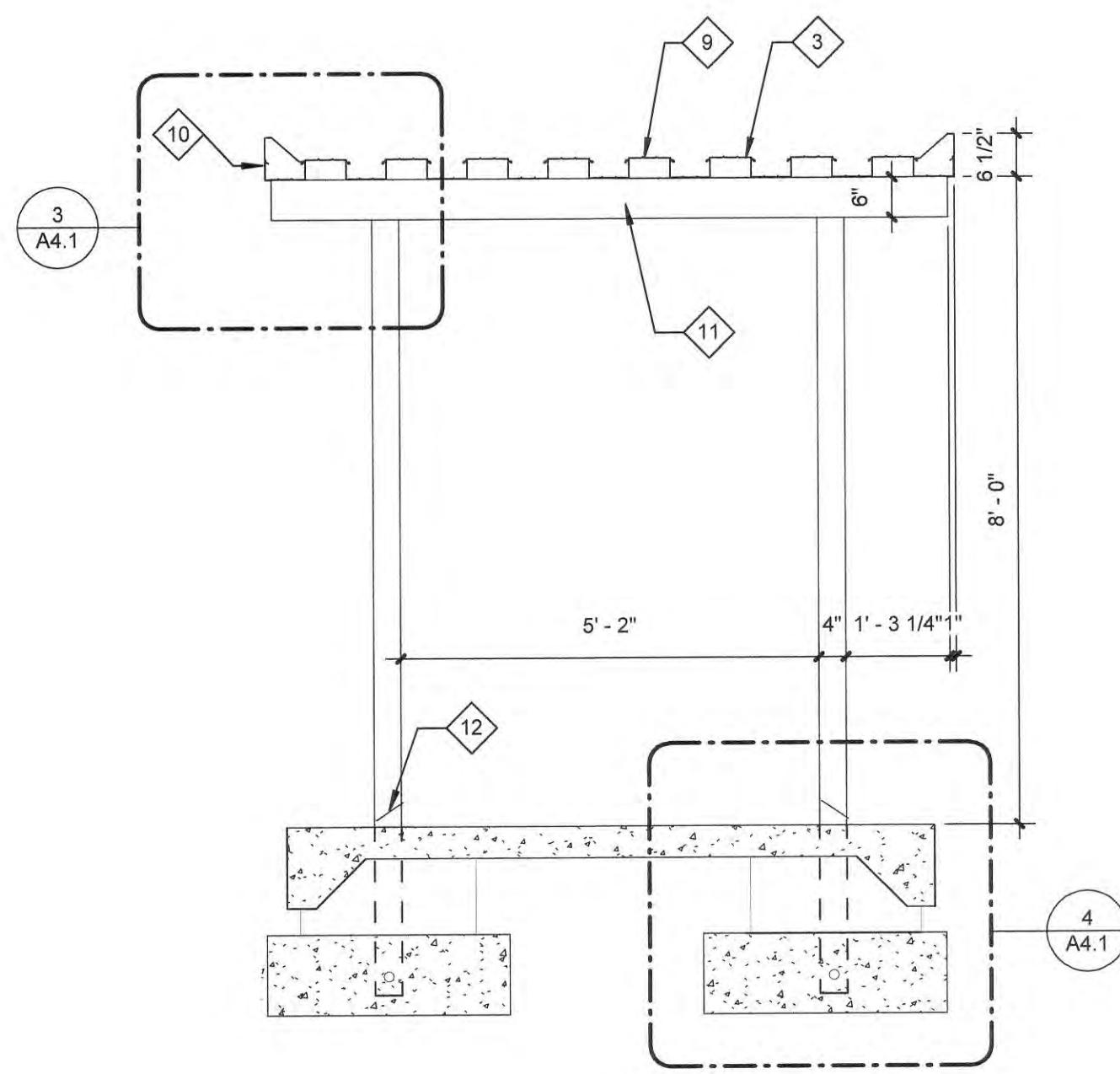
Reflected Ceiling
Plan

A2.1

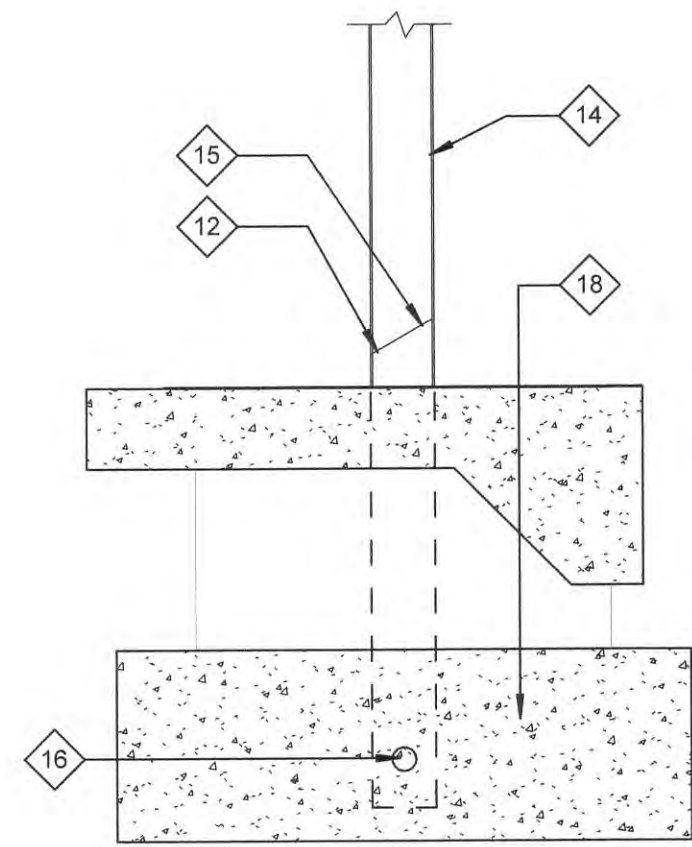
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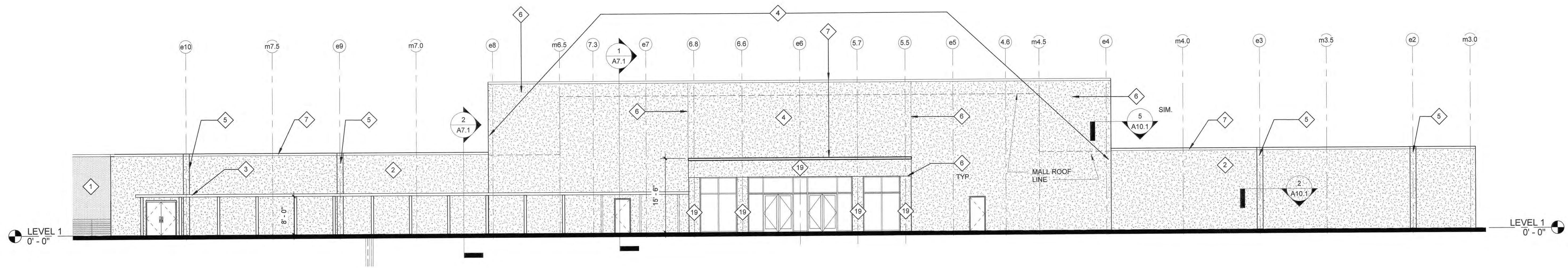
3 COVERED WALKWAY EDGE DETAIL
A4.1 1 1/2" = 1'-0"



2 COVERED WALKWAY SECTION
A4.1 1/2" = 1'-0"



4 EMBEDMENT DETAIL
A4.1 1" = 1'-0"



1 SOUTH ELEVATION
A4.1 3/32" = 1'-0"

A4.1 DRAWING NOTES

- 1 EXISTING WALL TO REMAIN.
- 2 EIFS VENEER ON EXISTING CMU WALL
- 3 ALTERNATE ONE - PREFABRICATED PRE-ENGINEERED ALUMINUM WALKWAY COVER. REFER TO SPECIFICATIONS.
- 4 FULL HEIGHT WALL W/ EIFS VENEER
- 5 EIFS VENEER WRAP AT EXISTING BELK BLDG. COLUMNS. TOP OF EXISTING COLUMNS TO BE CUT FLUSH WITH TOP OF NEW HEIGHT OF WALL.
- 6 EIFS CONTROL JOINT
- 7 COPING CAP
- 9 PRE-ENGINEERED 3" EXTRUDED ALUMINUM DECK. REFER TO SPECIFICATIONS.
- 10 PRE-ENGINEERED FASCIA EDGE COVERED WALKWAY. REFER TO SPECIFICATIONS.
- 11 PRE-ENGINEERED DRAIN BEAM. REFER TO SPECIFICATIONS.
- 12 DRAIN AT BOTTOM OF EACH COLUMN AT EACH LOCATION
- 13 PRE-ENGINEERED FULL PERIMETER WELD AT POST TO BEAM CONNECTION. REFER TO SPECIFICATIONS.
- 14 PRE-ENGINEERED COLUMN. REFER TO SPECIFICATIONS.
- 15 WATER DRAIN DEFLECTOR
- 16 KEY HOLE
- 18 FOOTINGS PER STRUCTURAL DRAWINGS
- 19 EIFS CANOPY

GENERAL EXTERIOR ELEVATION...

- A COORDINATE EXTERIOR ELEVATIONS WITH MECHANICAL DRAWINGS FOR ROUTING OF CHILLED WATER LINES.
- B ALL CANOPY DIMENSIONS ARE NOMINAL. REFER TO SPECIFICATION.

EXTERIOR FINISH SCHEDULE LEGEND

NOTE: ALL EXTERIOR FINISHES TO BE APPROVED BY ARCHITECT AND OWNER PRIOR TO ORDERING.

STOREFRONT
COLOR: MATCH EXISTING ON MALL; CONFIRM CLEAR ANODIZED FINISH. MATCH GLAZING TO EXISTING MALL ENTRANCE GLASS.

PAINT AND EIFS
BASIS OF DESIGN - SHERWIN WILLIAMS
COLOR: MATCH EXISTING EXTERIOR PAINTED BRICK AND ON INTERIOR MATCH EXISTING WALL COLOR.

METAL COPING CAP
COLOR: MATCH EXISTING

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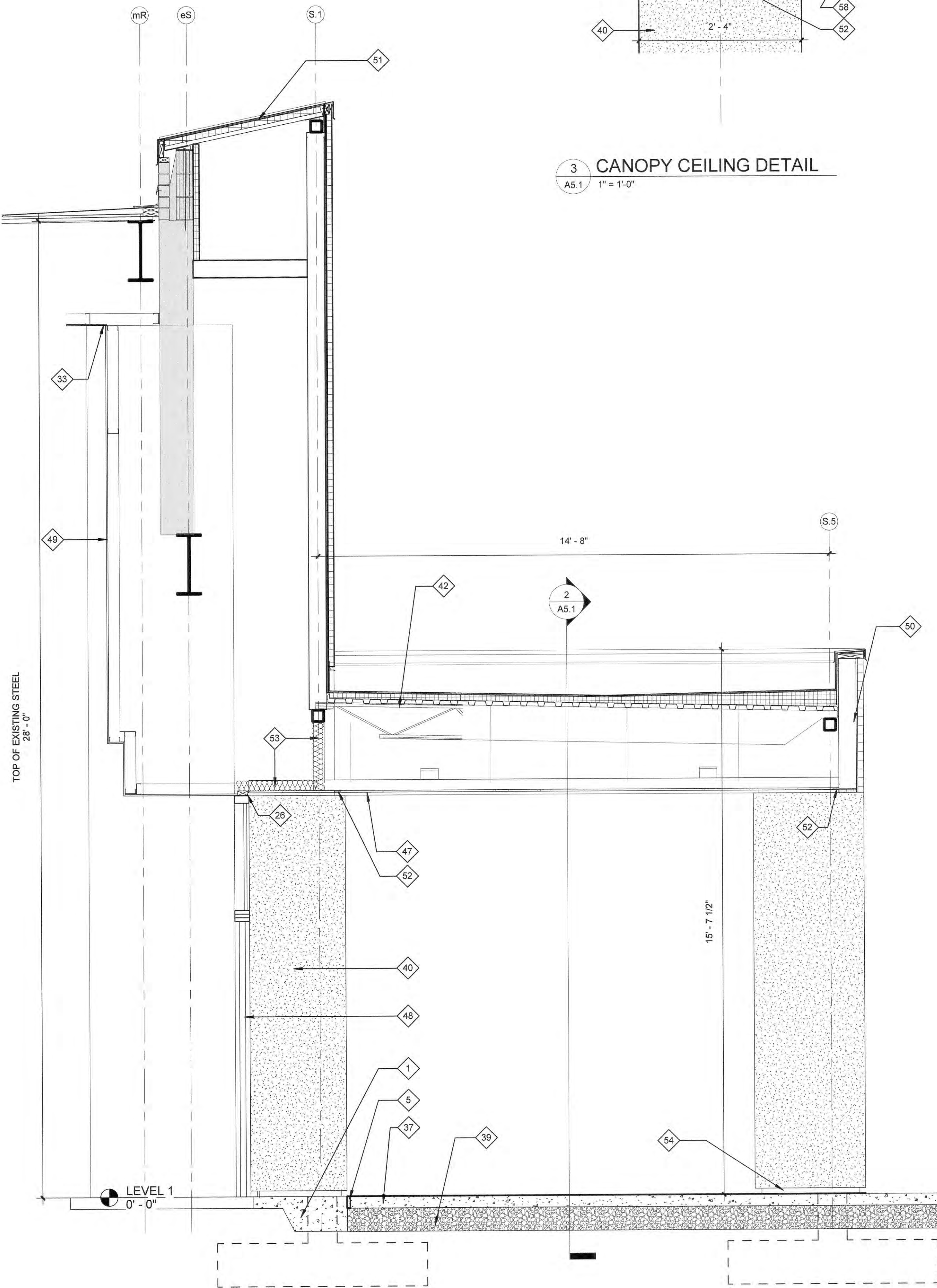
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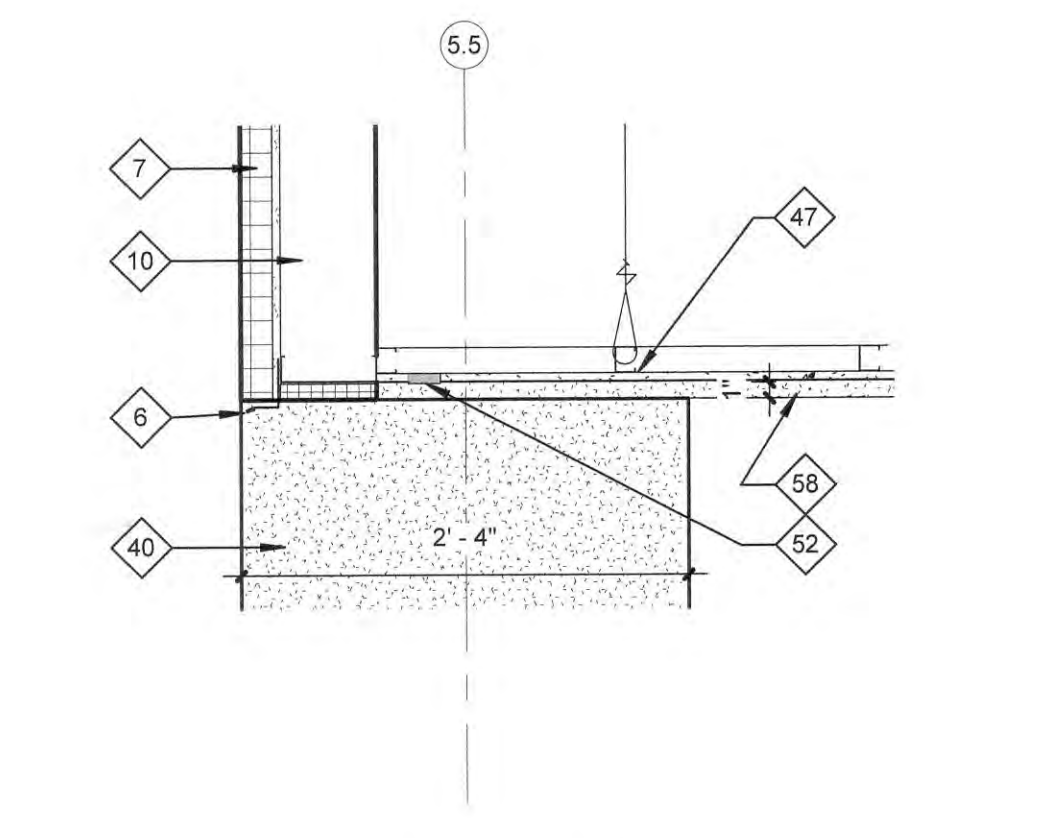
Exterior Elevation
and Covered
Walkway Section

A4.1

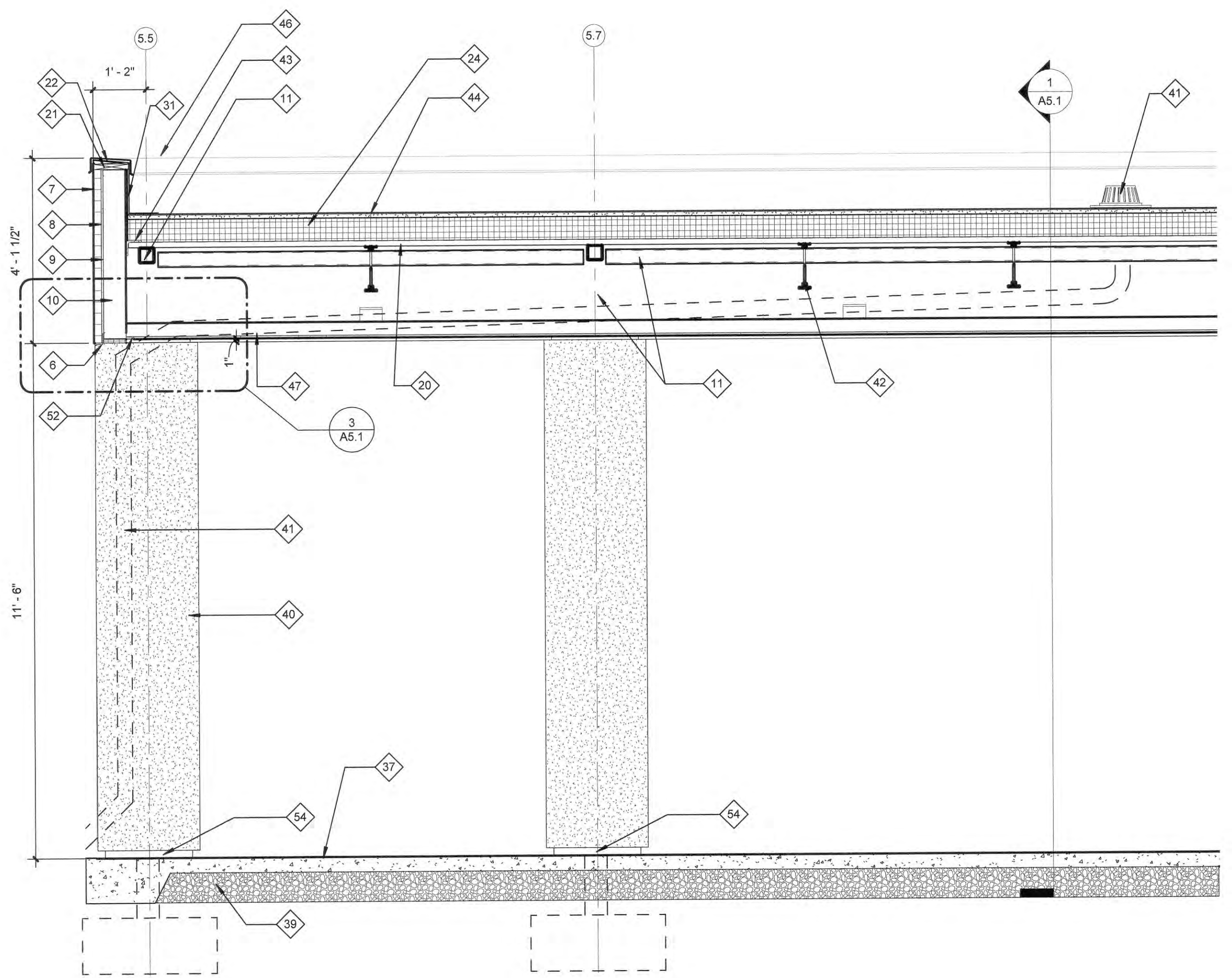
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1 SECTION THRU MAIN CANOPY
A5.1 1/2" = 1'-0"



3 CANOPY CEILING DETAIL
A5.1 1" = 1'-0"



2 LONGITUDINAL SECTION THRU MALL CANOPY
A5.1 1/2" = 1'-0"

A5.1 & A7.1 DRAWING NOTES

- 1 FOUNDATION. REFER TO STRUCTURAL DRAWINGS.
- 2 EXISTING FOUNDATION AND SLAB TO REMAIN.
- 3 REGRADED AREA WITH GRAVEL TO BOTTOM OF NEW FOOTINGS. REFER TO CIVIL DRAWINGS FOR LOCATION OF NEW SIDEWALKS.
- 4 WATERPROOF BARRIER. RUN DOWN EXPOSED EDGE OF SLAB TO FOUNDATION.
- 5 1/2" EXP. JOINT MATERIAL.
- 6 EIFS DRAINAGE TRACK. PER MANUFACTURER'S STANDARD DETAILS.
- 7 EIFS - 2" DRAINABLE SYSTEM.
- 8 GLASS MATTE FACED SHEATHING.
- 9 CONTINUOUS FLUID APPLIED WEATHER RESISTANT BARRIER.
- 10 6" CFMF STUD WALL. REFER TO STRUCTURAL DRAWINGS. MIN GA. 22 @ 16" O.C.
- 11 TUBE STEEL COLUMN OR BEAM. REFER TO STRUCTURAL DRAWINGS.
- 12 EXISTING STEEL TO REMAIN.
- 13 EXISTING WALL TO REMAIN. WALL CONSTRUCTION GREATER THAN 2" ABOVE EXISTING TOP OF STEEL TO BE DEMOLISHED. INTENTION IS TO KEEP EXISTING THRU WALL FLASHING INTACT AND REMOVE MASONRY ABOVE THAT LEVEL.
- 14 EIFS MESH, BASE AND FINISH PER MANUFACTURER'S STANDARD DETAILS AT GRADE.
- 15 EXISTING MEMBRANE ROOF SYSTEM, INSULATION AND METAL DECK.
- 16 REMOVE EXISTING EXPANSION JOINT BELLOWS (NOT SHOWN). INSTALL NEW PT BLOCKING ATTACHED TO DECK AND BRICK. TIE INTO EXISTING ROOF WITH NEW ROOF BASE FLASHING, PARAPET FLASHING UP TO EXISTING THRU WALL AND COUNTERFLASHING.
- 17 EXISTING CMU, UTILITY BRICK AND THRU WALL FLASHING TO REMAIN.
- 18 STEEL BRACING AT COLUMNS. REFER TO STRUCTURAL DRAWINGS. COORDINATE WITH CHILLED WATER LINE RELOCATION.
- 19 REFER TO STRUCTURAL DRAWINGS FOR CONNECTIONS OF DECK TO TUBE STEEL AND MASONRY.
- 20 METAL DECK, GALVANIZED. REFER TO STRUCTURAL DRAWINGS. SLOPE TO REAR.

A5.1 & A7.1 DRAWING NOTES

- 21 PT SILL PLATE, 2X.
- 22 PT BLOCKING
- 23 2" RIGID INSULATION OR SPRAY FOAM INSULATION.
- 24 R-20 RIGID ROOF INSULATION AND 1/4" RECOVERY BOARD. REFER TO ROOF PLAN FOR TAPERED INSULATION.
- 25 DOUBLE 6" CFMF STUD WALL.
- 26 PT BLOCKING, 2X.
- 27 PREFINISHED 22 GA METAL COPING CAP REINFORCED AS REQUIRED FOR STRENGTH. COLOR AND FASCIA HEIGHT TO MATCH EXISTING. REFER TO TP-2 FROM NRCA FOR INSTALLATION INSTRUCTIONS.
- 28 CONTINUOUS CLEAT.
- 29 PREMANUFACTURED ALUMINUM WALKWAY COVER. SELF SUPPORTING WITH INTERNAL DRAINAGE TO COLUMN BASES OPENING AT BASE.
- 30 PROVIDE PREFINISHED EXP. JT. COVER FROM EIFS TO PREFABRICATED WALKWAY COVER TO CLOSE OFF MOISTURE DRAINAGE.
- 31 EXTERIOR GRADE FT PLYWOOD SHEATHING.
- 32 EXISTING WALL TO REMAIN. WALL CONSTRUCTION GREATER THAN 8" ABOVE EXISTING TOP OF STEEL TO BE DEMOLISHED.
- 33 EXISTING CEILING TO REMAIN.
- 34 STEEL BENT PLATE AND SEAT. REFER TO STRUCTURAL DRAWINGS.
- 35 PREFINISHED 22 GA METAL PARAPET COPING CAP. REFER TO TP-1 OF NRCA FOR INSTALLATION PROCEDURES. RUN MEMBRANE UP OVER TOP OF WALL TO CLEAT.
- 36 MEMBRANE BASE AND PARAPET FLASHING. TIE INTO EXISTING ROOF SYSTEM.
- 37 4" THICK CONCRETE SIDEWALK. REFER TO CIVIL DRAWINGS.
- 38 HOLLOW METAL INSULATED DOOR AND FRAME. PAINT TO MATCH EXISTING EXTERIOR.
- 39 STONE BASE UNDER NEW SIDEWALK. REFER TO CIVIL.
- 40 EIFS COLUMN BEYOND.
- 41 ROOF DRAIN WITH INTEGRAL OVERFLOW DRAIN (BASIS OF DESIGN ZURN Z103-45-DP-E DUAL OUTLET). RUN PRIMARY DRAIN LINE TO STORM SEWER AND SECONDARY LINE TO COLUMN BASE TO A BRONZE DRAINSPOUT NOZZLE. INSULATE DRAIN PIPES.

A5.1 & A7.1 DRAWING NOTES

- 42 STEEL JOIST FRAMING. REFER TO STRUCTURAL DRAWINGS.
- 43 STEEL ANGLE. REFER TO STRUCTURAL DRAWINGS. SECURE TO EXISTING STEEL BEAM.
- 44 MEMBRANE ROOF SYSTEM.
- 45 STEEL PLATE. REFER TO STRUCTURAL DRAWINGS.
- 46 PARAPET COPING CAP BEYOND.
- 47 EXTERIOR GRADE GYPSUM BOARD ON CHANNEL FRAMING SYSTEM. PAINT. RECESS SURFACE 1" FROM ADJACENT CANOPY HEAD WALLS.
- 48 EXTERIOR STOREFRONT FRAMING AND GLASS ENTRANCE.
- 49 EXISTING INTERIOR MALL WALL. REPAIR AND REPAINT TO MATCH EXISTING WALL COLOR.
- 50 REFER TO SECTION 2/A5.1 FOR CANOPY WALL CONSTRUCTION.
- 51 REFER TO SECTION 1/A7.1 FOR PARAPET CONSTRUCTION ON HIGH WALLS
- 52 CONTINUOUS 2" ALUMINUM SOFFIT VENT.
- 53 BATT INSULATION WITH VAPOR BARRIER ON METAL FRAMING. SEAL JOINTS. CONTRACTOR'S OPTION TO USE SPRAY FOAM INSULATION ON WIRE MESH.
- 54 STOP EIFS 2" ABOVE SIDEWALK. PROVIDE MESH AND FINISH COAT ON SHEATHING BOARD BELOW EIFS PER MANUFACTURER'S STANDARD DETAILS.
- 55 LT. GAGE CFMF CLIP ANGLE.
- 56 REPAINT EXISTING BRICK TO REMAIN ABOVE ROOF LINE. FIRST REMOVE DEBRIS AND LOOSE PAINT AND PREPARE SURFACE FOR PAINT.
- 57 12" CMU BOND BEAM. REFER TO STRUCTURAL DRAWINGS.
- 58 EIFS BEYOND.
- 59 GYPSUM BOARD, PAINTED.

Seal



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Project

Greenville
Technical College
Greenville Technical College
Greenville - Demolition of
Bldg. 602

State Project # H59-6124-CA-B
Project Number 15288
Drawn By LCA
Checked By JMT
Date 12 Dec 2016

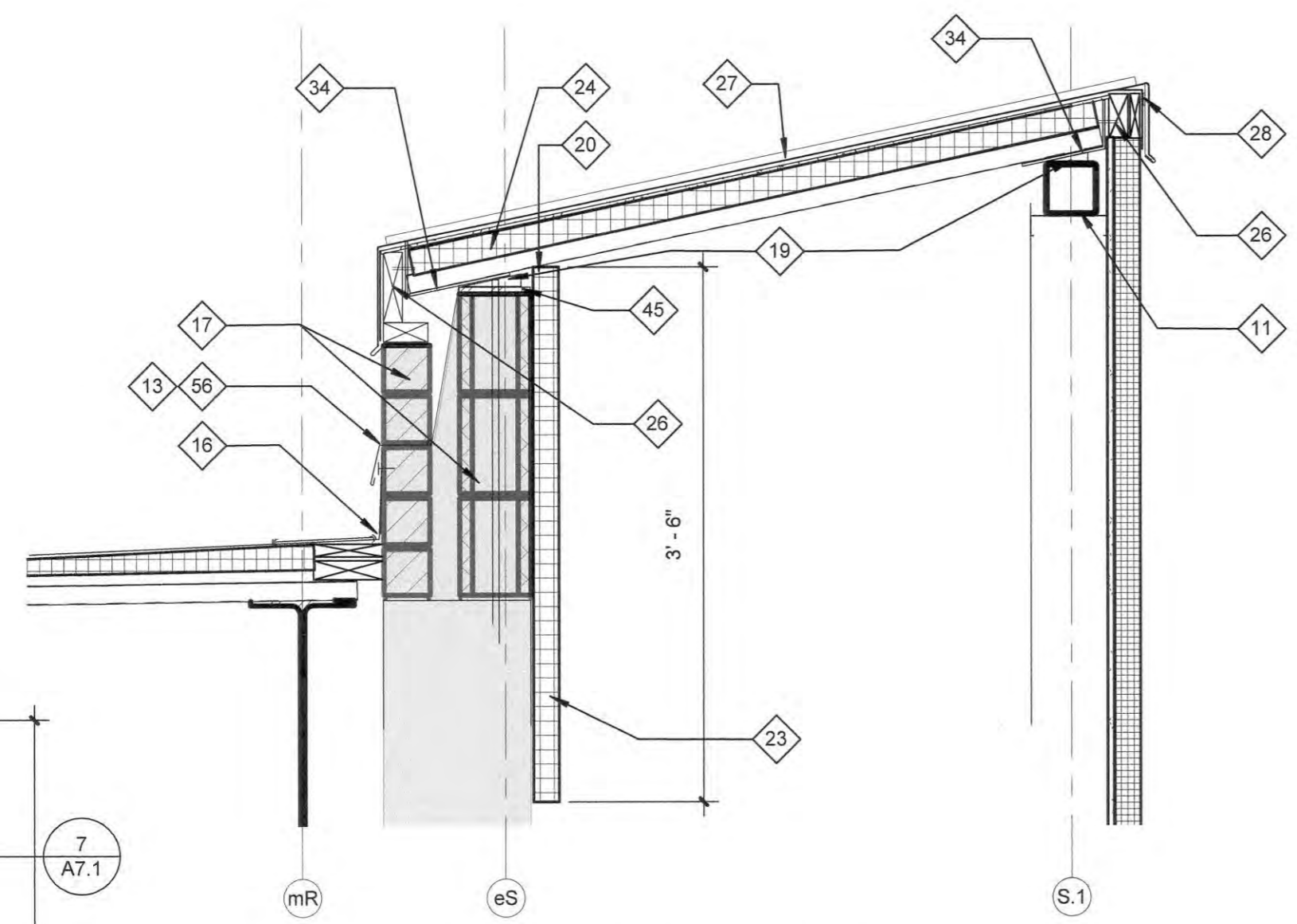
Revisions

Drawing

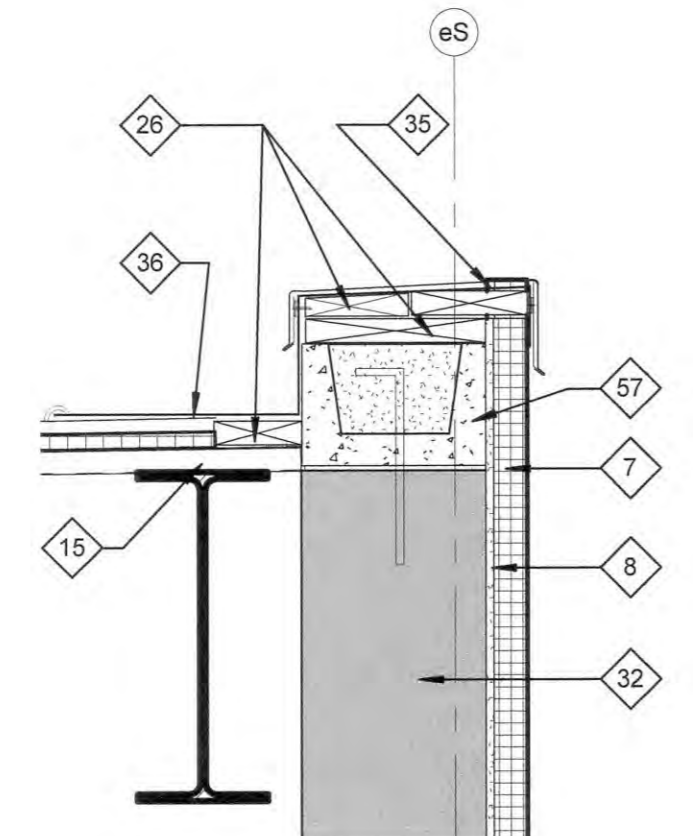
Building Sections

A5.1

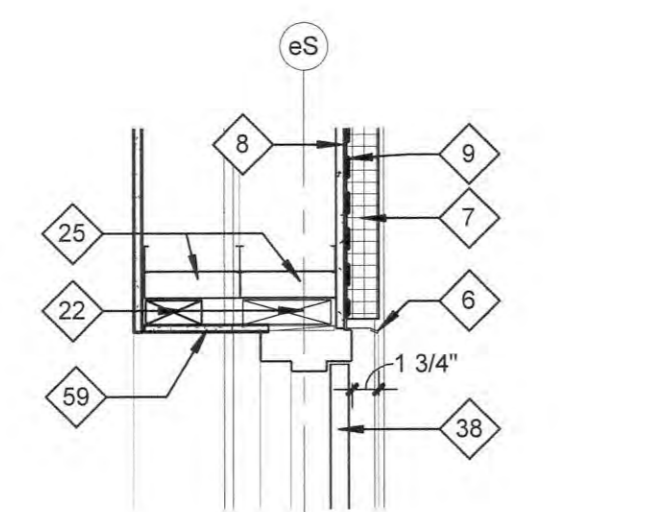
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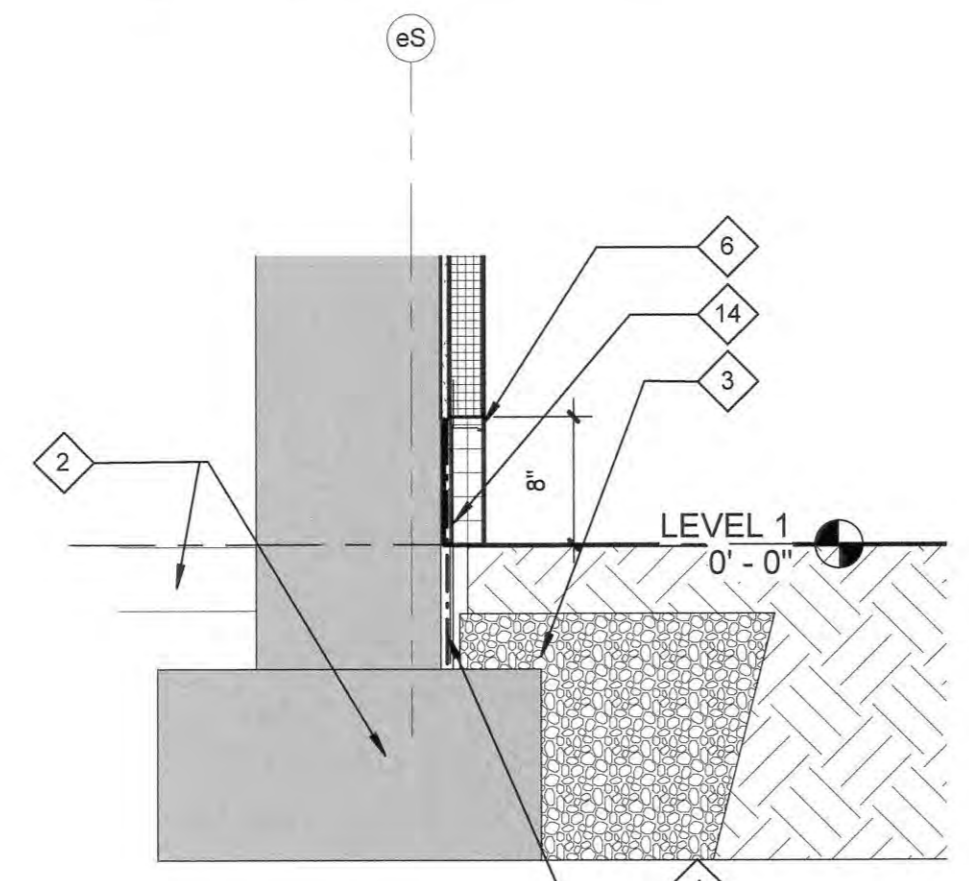
7 TOP OF HIGH WALL DETAIL
A7.1 1" = 1'-0"



6 TOP OF WALL DETAIL
A7.1 1" = 1'-0"



5 DOOR HEAD DETAIL
A7.1 1" = 1'-0"



4 BOTTOM OF WALL DETAIL
A7.1 1" = 1'-0"

A5.1 & A7.1 DRAWING NOTES

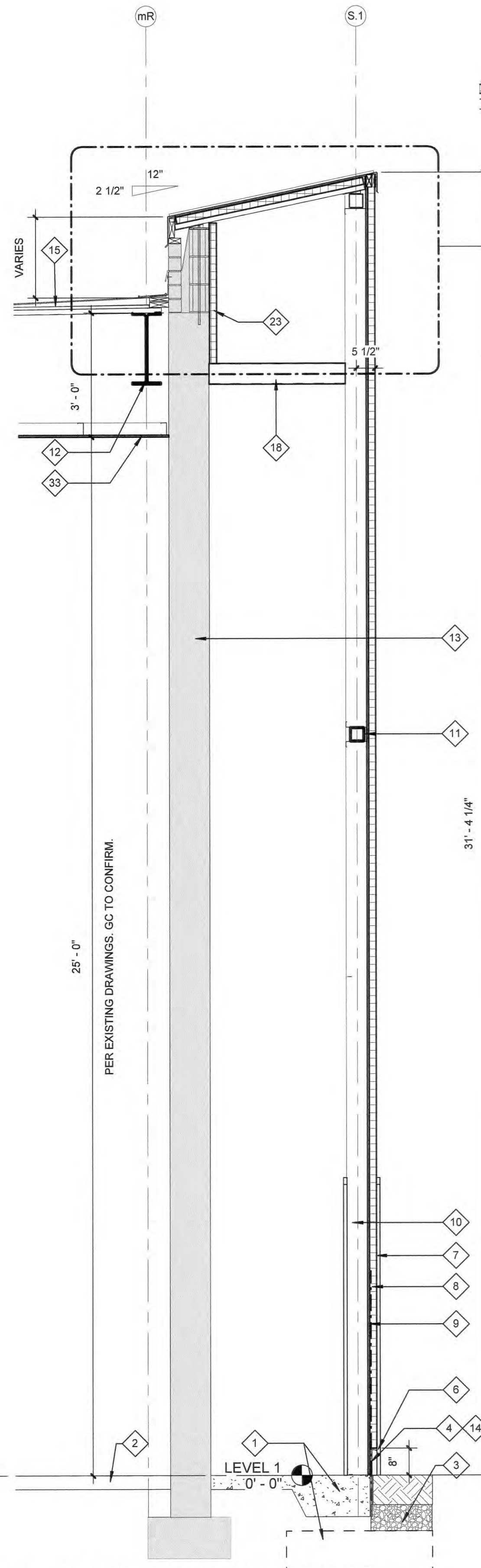
- 1 FOUNDATION. REFER TO STRUCTURAL DRAWINGS.
- 2 EXISTING FOUNDATION AND SLAB TO REMAIN.
- 3 REGRADED AREA WITH GRAVEL TO BOTTOM OF NEW FOOTINGS. REFER TO CIVIL DRAWINGS FOR LOCATION OF NEW SIDEWALKS.
- 4 WATERPROOF BARRIER. RUN DOWN EXPOSED EDGE OF SLAB TO FOUNDATION.
- 5 1/2" EXP. JOINT MATERIAL.
- 6 EIFS DRAINAGE TRACK. PER MANUFACTURER'S STANDARD DETAILS.
- 7 EIFS - 2" DRAINABLE SYSTEM.
- 8 GLASS MATTE FACED SHEATHING.
- 9 CONTINUOUS FLUID APPLIED WEATHER RESISTANT BARRIER.
- 10 6" CFMF STUD WALL. REFER TO STRUCTURAL DRAWINGS. MIN GA. 22 @ 16" O.C.
- 11 TUBE STEEL COLUMN OR BEAM. REFER TO STRUCTURAL DRAWINGS.
- 12 EXISTING STEEL TO REMAIN.
- 13 EXISTING WALL TO REMAIN. WALL CONSTRUCTION GREATER THAN 2' ABOVE EXISTING TOP OF STEEL TO BE DEMOLISHED. INTENTION IS TO KEEP EXISTING THRU WALL FLASHING INTACK AND REMOVE MASONRY ABOVE THAT LEVEL.
- 14 EIFS MESH, BASE AND FINISH PER MANUFACTURER'S STANDARD DETAILS AT GRADE.
- 15 EXISTING MEMBRANE ROOF SYSTEM, INSULATION AND METAL DECK.
- 16 REMOVE EXISTING EXPANSION JOINT BELLOWS (NOT SHOWN). INSTALL NEW PT BLOCKING ATTACHED TO DECK AND BRICK. TIE INTO EXISTING ROOF WITH NEW ROOF BASE FLASHING. PARAPET FLASHING UP TO EXISTING THRU WALL AND COUNTERFLASHING.
- 17 EXISTING CMU, UTILITY BRICK AND THRU WALL FLASHING TO REMAIN.
- 18 STEEL BRACING AT COLUMNS. REFER TO STRUCTURAL DRAWINGS. COORDINATE WITH CHILLED WATER LINE RELOCATION.
- 19 REFER TO STRUCTURAL DRAWINGS FOR CONNECTIONS OF DECK TO TUBE STEEL AND MASONRY.
- 20 METAL DECK. GALVANIZED. REFER TO STRUCTURAL DRAWINGS. SLOPE TO REAR.

A5.1 & A7.1 DRAWING NOTES

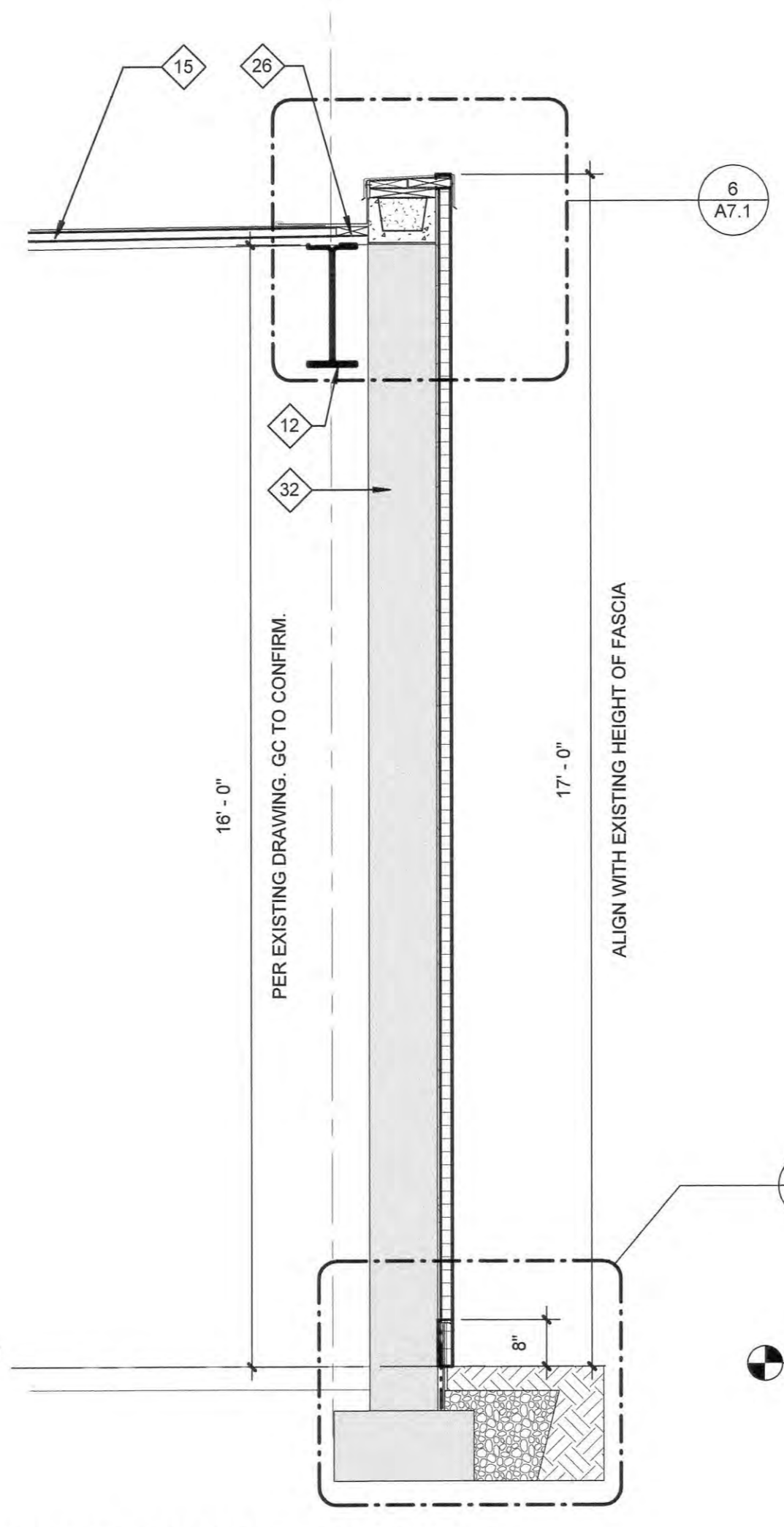
- 21 PT SILL PLATE, 2X.
- 22 PT BLOCKING
- 23 2" RIGID INSULATION OR SPRAY FOAM INSULATION.
- 24 R-20 RIGID ROOF INSULATION AND 1/4" RECOVERY BOARD. REFER TO ROOF PLAN FOR TAPERED INSULATION.
- 25 DOUBLE 6" CFMF STUD WALL.
- 26 PT BLOCKING, 2X.
- 27 PREFINISHED 22 GA METAL COPING CAP REINFORCED AS REQUIRED FOR STRENGTH. COLOR AND FASCIA HEIGHT TO MATCH EXISTING. REFER TO TP-2 FROM NRCA FOR INSTALLATION INSTRUCTIONS.
- 28 CONTINUOUS CLEAT.
- 29 PREMANUFACTURED ALUMINUM WALKWAY COVER, SELF SUPPORTING WITH INTERNAL DRAINAGE TO COLUMN BASES OPENING AT BASE.
- 30 PROVIDE PREFINISHED EXP. JT. COVER FROM EIFS TO PREFABRICATED WALKWAY COVER TO CLOSE OFF MOISTURE DRAINAGE.
- 31 EXTERIOR GRADE FT PLYWOOD SHEATHING.
- 32 EXISTING WALL TO REMAIN. WALL CONSTRUCTION GREATER THAN 8' ABOVE EXISTING TOP OF STEEL TO BE DEMOLISHED.
- 33 EXISTING CEILING TO REMAIN.
- 34 STEEL BENT PLATE AND SEAT. REFER TO STRUCTURAL DRAWINGS.
- 35 PREFINISHED 22 GA METAL PARAPET COPING CAP. REFER TO TP-1 OF NRCA FOR INSTALLATION PROCEDURES. RUN MEMBRANE UP OVER TOP OF WALL TO CLEAT.
- 36 MEMBRANE BASE AND PARAPET FLASHING. TIE INTO EXISTING ROOF SYSTEM.
- 37 4" THICK CONCRETE SIDEWALK. REFER TO CIVIL DRAWINGS.
- 38 HOLLOW METAL. INSULATED DOOR AND FRAME. PAINT TO MATCH EXISTING EXTERIOR.
- 39 STONE BASE UNDER NEW SIDEWALK. REFER TO CIVIL.
- 40 EIFS COLUMN BEYOND.
- 41 ROOF DRAIN WITH INTEGRAL OVERFLOW DRAIN (BASIS OF DESIGN ZURN Z103-45-DP-E DUAL OUTLET). RUN PRIMARY DRAIN LINE TO STORM SEWER AND SECONDARY LINE TO COLUMN BASE TO A BRONZE DRAINPOUT NOZZLE. INSULATE DRAIN PIPES.

A5.1 & A7.1 DRAWING NOTES

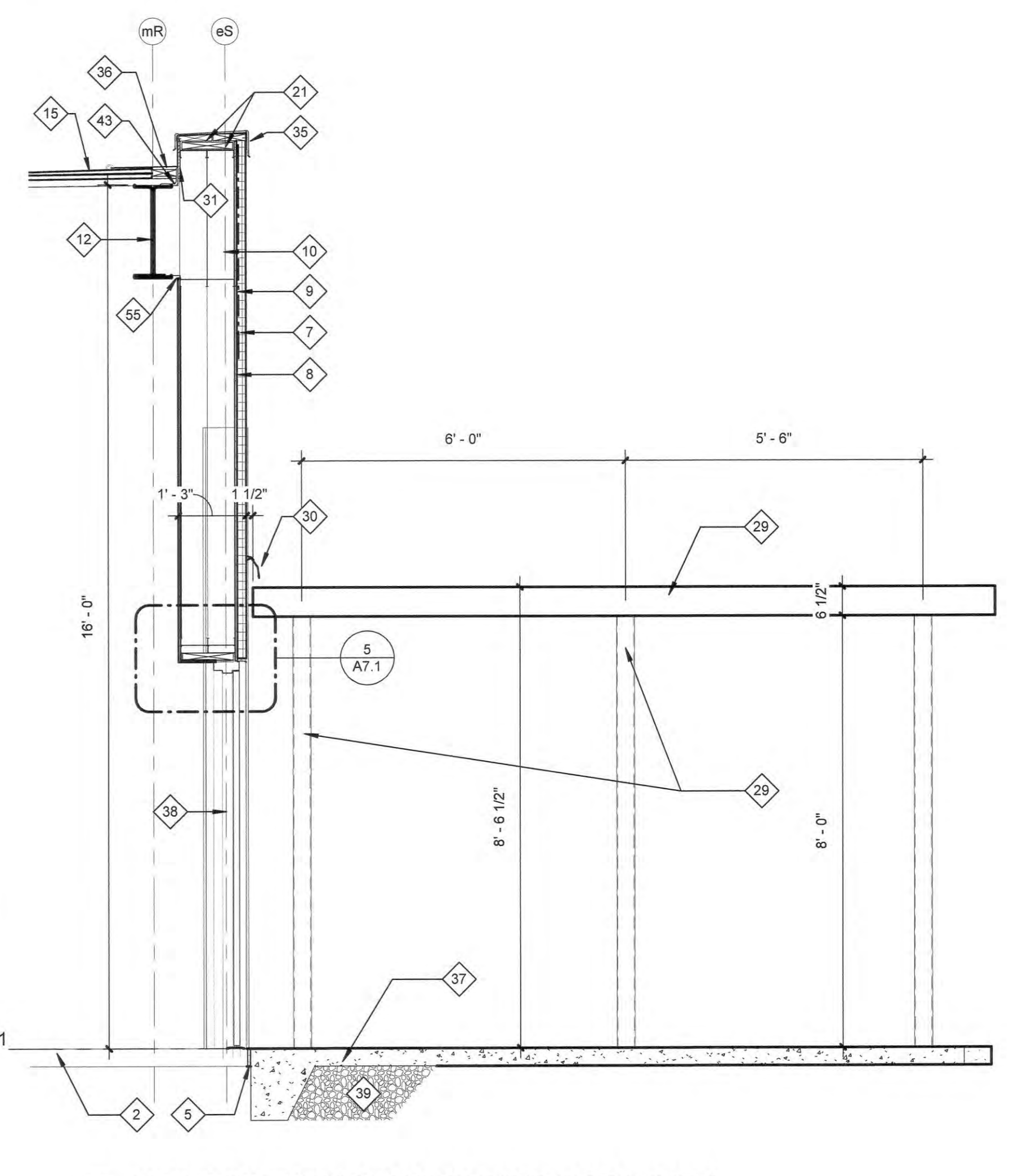
- 42 STEEL JOIST FRAMING. REFER TO STRUCTURAL DRAWINGS.
- 43 STEEL ANGLE. REFER TO STRUCTURAL DRAWINGS. SECURE TO EXISTING STEEL BEAM.
- 44 MEMBRANE ROOF SYSTEM.
- 45 STEEL PLATE. REFER TO STRUCTURAL DRAWINGS.
- 46 PARAPET COPING CAP BEYOND.
- 47 EXTERIOR GRADE GYPSUM BOARD ON CHANNEL FRAMING SYSTEM. PAINT. RECESS SURFACE 1" FROM ADJACENT CANOPY HEAD WALLS.
- 48 EXTERIOR STOREFRONT FRAMING AND GLASS ENTRANCE.
- 49 EXISTING INTERIOR MALL WALL. REPAIR AND REPAINT TO MATCH EXISTING WALL COLOR.
- 50 REFER TO SECTION 2/A5.1 FOR CANOPY WALL CONSTRUCTION.
- 51 REFER TO SECTION 1/A7.1 FOR PARAPET CONSTRUCTION ON HIGH WALLS.
- 52 CONTINUOUS 2" ALUMINUM SOFFIT VENT.
- 53 BATT INSULATION WITH VAPOR BARRIER ON METAL FRAMING. SEAL JOINTS. CONTRACTOR'S OPTION TO USE SPRAY FOAM INSULATION ON WIRE MESH.
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1 TYPICAL HIGH WALL SECTION
A7.1 1/2" = 1'-0"



2 TYPICAL LOW WALL SECTION
A7.1 1/2" = 1'-0"



3 SECTION THRU NEW LOADING DOCK WALL
A7.1 1/2" = 1'-0"

Seal



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Revisions

Drawing

Wall Sections

A7.1

